

NEVADA STATE HISTORIC PRESERVATION OFFICE
Recommended Coversheet for Section 106 Review

SHPO USE ONLY			
Received Date	__/__/__	Log In Date	__/__/__
Response Date	__/__/__	Log Out Date	__/__/__
Sent Date	__/__/__		

If you find this document helpful in preparing a submission document, please include this with your submission. Please type. Due to limited resources and the requirements of federal regulation, we are unable to accept this application electronically.

I. GENERAL INFORMATION

- ☐ THIS IS A NEW SUBMITTAL
☒ THIS IS MORE INFORMATION RELATING TO UT# **VA UT 2015-3811**.

- a. Project Name: Purchase Land for Medical Center Expansion and Parking
- b. Project Address and APN (if available): Please see attached
- c. County: Washoe County, Nevada
- d. Federal Agency, Contact Name and Mailing Address *(If you do not know the federal agency involved in your project please contact the party requiring you to apply for Section 106 review, not the SHPO, for this information.)*.

Ms. Arlee Fisher
Facility Planner
VA Sierra Nevada Health Care System
975 Kirman Avenue (001)
Reno, Nevada 89502-2597
Office Telephone 775.789.6632
Mobile Telephone 775.722.4273

- e. State Agency (if applicable), Contact Name and Mailing Address: Not Applicable
- f. Consultant or Applicant Contact Information (if applicable) *including mailing address*.
Diablo Green Consulting, Inc.
415 Boulder Court, Suite 300
Pleasanton, California 94566
(925) 846-9800
- g. Exact project location map should be submitted. Please see our website for further mapping information: nvshpo.org/review-compliance/guidelines.html.
 - 1. 7.5' USGS Quad Map Name: Reno, Nevada
 - 2. Township: 19 North Range: 19 East Section: 13

II. PROJECT WORK DESCRIPTION AND AREA OF POTENTIAL EFFECTS (APE)

Note: Every project has an APE.

- a. Provide a detailed written description of the project (plans, specifications, Environmental Impact Statements (EIS), Environmental Assessments (EA), etc. can be included with the written description):

Please refer to the attached for further information.

- b. Provide a localized map indicating the location of the project; road names must be included and legible.

Please refer to figures within Appendix A

- c. On the above-mentioned map, identify the APE.

Please refer to figures within Appendix A

- d. Provide a written description of the APE (physical, visual, auditory, and atmospheric), the steps taken to identify the APE, and the justification for the boundaries chosen. Please consider the height of the proposed undertaking when determining this area.

Please refer to the attached for further information.

III. GROUND DISTURBING ACTIVITY (INCLUDING EXCAVATION, GRADING, TREE REMOVALS, UTILITY INSTALLATION, CONSTRUCTION, ETC.)

DOES THIS PROJECT INVOLVE GROUND-DISTURBING ACTIVITY? YES ☒ NO ☐ (If no, proceed to section IV.)

- a. Description of width, length and depth of proposed ground disturbing activity (please include all associated disturbances (access roads, laydown areas, etc): Please refer to the attached for additional information on ground impacts.
- b. Previous land use and disturbances: All of the properties involved in this Undertaking are currently developed with residential homes.
- c. Current land use and conditions: All of the properties involved in this Undertaking are currently developed with residential homes.
- d. Does the landowner know of any archaeological resources found on the property?
Please describe: The VA has not been informed of such resources.

IV. IDENTIFICATION OF HISTORIC PROPERTIES

- a. List and date all resources (buildings, structures, objects, archaeological sites) 50 years of age or older located in the APE. If the resource is located within a National Register eligible, listed or local district it is only necessary to identify the district: Please refer to the attached.

- b. Describe the steps taken to identify whether or not any resources eligible for the National Register of Historic Places exist in the APE and include the level of effort made to carry out such steps: Please refer to the attached.
- c. Based on the information contained in "b", please choose one:
- ☒ Historic Properties Present in the APE
- ☐ No Historic Properties Present in the APE
- d. Describe the condition, previous disturbance to, and history of any historic properties located in the APE: Please refer to the attached.
-

V. PHOTOGRAPHS

Note: All photographs should be keyed to a map.

- a. Provide photographs of the project area itself.
- b. Provide photographs of all resources 50 years of age or older located in the APE. Digital images or clear photocopies are acceptable.
-

VI. DETERMINATION OF EFFECT

Based on the above information, please choose one.

- ☐ No historic properties affected based on [36 CFR § 800.4(d)(1)], please provide the justification for this determination.
- ☒ No Adverse Effect [36 CFR § 800.5(b)] on historic properties, explain why the criteria of adverse effect, 36 CFR Part 800.5(a)(1), were found not applicable.

See the attached for further information.

- ☒ Adverse Effect [36 CFR § 800.5(d)(2)] on historic properties, explain why the criteria of adverse effect, [36 CFR Part 800.5(a)(1)], were found applicable.

See the attached for further information.

Please print and mail completed form and any additional information to:

*Nevada State Historic Preservation Office
901 S. Stewart Street, Suite 5004
Carson City, Nevada 89701-5248*

STATE OF NEVADA
DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
STATE HISTORIC PRESERVATION OFFICE (SHPO)

Section I: General Information

- a. Please provide the name of your project.

Department of Veterans Affairs (VA), Sierra Nevada Health Care System (VASNHCS),
Purchase Land for Medical Center Expansion and Parking

- b. Provide the street address of your project if applicable. If no street address exists, please leave this blank. Please include the Assessor's Parcel Number for the property on which this project is located.

Table 1. Belli Addition Direct APE Properties

	SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?
	D190	Belli Addition Historic District	1946 (platted)	Yes	C	N/A
1	B13803	700/710 E. Taylor Street	1953	No	N/A	Yes
2	B13804	701/707/715 Belli Drive	1952	No	N/A	Yes
	B13806	735 Belli Drive	1952	No	N/A	Yes
3	B13807	765 Belli Drive	1952	No	N/A	Yes
	B13808	801 Belli Drive	1954	No	N/A	Yes
	B13809	805/807 Belli Drive	1958	No	N/A	Yes
4	B13810	825/827/829/831 Belli Drive	1972	No	N/A	No
5	B13812	845 Belli Drive	1958	No	N/A	Yes
6	B13813	865 Belli Drive	1958	No	N/A	Yes
7	B13814	885 Belli Drive	1946	No	N/A	Yes

Table 2. Burkes Addition Direct APE Properties

	SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?
	D189	Burke's Addition Historic District	1917 (Platted)	Yes	C	N/A
8	B13801	691/693 E. Taylor Street	1953	No	N/A	No
9	B13802	697/699 E. Taylor Street	1954	No	N/A	No
10	B13811	825/835 Kirman Avenue	1939	No	N/A	No

Table 3. Mountain View Subdivision Direct APE Properties

	SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?
11	B13805	703 Balzar Circle	1940 / remodel ed 1965	No	N/A	N/A

Table 4. VASNHCS Proposed Historic Buildings & Historic District

	SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?
	D191	Flagpole - 1000 Locust Street	Mid-1940s	No	N/A	Yes
	D191	Entry Drive – 1000 Locust Street	1939	No	N/A	Yes
	D191	Building 1A – 1000 Locust Street	1939	Yes	A, B, & C	Yes
	D191	Building 1 – 1000 Locust Street	1947	No	A, B & C	Yes
	D191	Veterans Hospital District	1939-1947	Yes	A, B & C	Yes

- c. Please provide the county or counties in which this project will take place.**

Washoe County, Nevada

- d. Every project has a federal funding, licensing, or permitting agency. Include the name, mailing address, and telephone number of the contact person at the federal agency if known. A federal agency or federally delegated authority contact is helpful for our review. Projects not receiving federal assistance, nor requiring a federal permit or license, are not subject to Section 106 review. If you do not know your federal agency, please contact the party requiring you to apply for Section 106 review for this information.**

Ms. Arlee Fisher
Facility Planner
VA Sierra Nevada Health Care System
975 Kirman Avenue (001)
Reno, Nevada 89502-2597
Office Telephone 775.789.6632
Mobile Telephone 775.722.4273

- e. Include the name, mailing address, and telephone number of the contact person at the state agency. If this is a grant program, note the name of the program (i.e. CDBG, HOME, etc.)**

Not Applicable

- f. Please provide the name, mailing address, telephone number, and email address of the contact person to whom questions may be directed.**

Arlee Fisher – Contact Information above

- g. Please provide a map that clearly illustrates the location of the project as well as all of the proposed activities associated with the project. For information about the preparation of a map, please visit our website at: nvshpo.org/reviewcompliance/guidelines.html**

Please refer to figures in Appendix A

- h. The map should use a USGS 7.5 minute quadrangle (1:24000 scale where 1 inch = 2,000 feet) background with the location of the project clearly marked. Provide the name of the quadrangle map which can be found on the USGS website.**

Please refer to figures in Appendix A

- i. An entire quad map does not have to be submitted; an 8.5x11 inch section of the map may be submitted. Map scales should be no larger than 1:50,000 (1 inch = 4,166 feet) and no smaller than 1:10,000 (1 inch = 833 feet). Photocopies of actual quad maps are acceptable as long as the map and location are clear. Street maps, plat maps, and satellite images are not acceptable substitutes, however, they may be included as additional information.

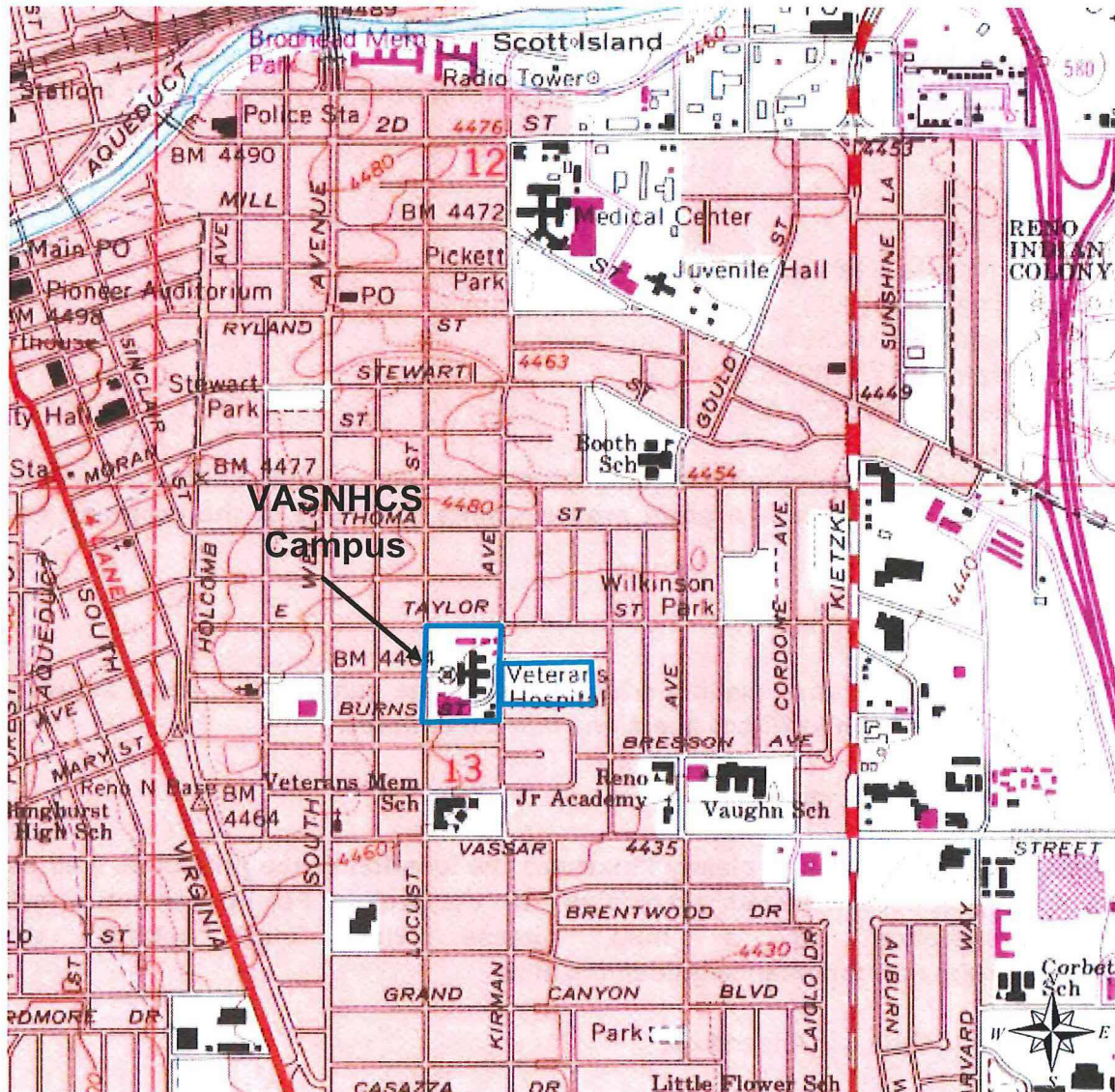


Figure 1 – USGS Topographic Map

- j. Township, Range and Section refer to the Public Land Survey System (PLSS). These are numbers such as T21N, R2W, Section 12 and are often incorporated into plat assignments at the county assessor's office. Do not put names of

townships in this 2 location. Alternate coordinates, such as UTM's or Latitude/Longitude, may be submitted in addition to the Township, Range and Section.

The VASNHCS is located within the City of Reno, Washoe County, Nevada. The hospital campus is bounded by East Taylor Street to the north, Kirman Avenue to the east, Burns Street to the south, and Locust Street to the west. A parking garage is further located along the south side of Belli Drive, as demonstrated on the site maps located in Appendix A.

The VASNHCS campus is located within Township 19 North, Range 19 East, Section 13, of the Mount Diablo Baseline and Meridian, as shown on the United States Geological Survey (USGS) *Reno* Quadrangle, Nevada (7.5-minute series) quadrangle map. The VASNHCS is located at an elevation of approximately 4475 feet above mean sea level (AMSL).

NOTE: We need to have mailing addresses on the form in order to provide copies of letters. If you wish a party to receive a copy of our response, please ensure that the mailing address is included in Section I.

Section II: Project Work Description and Area of Potential Effects (APE)

Due to a shortage of on-campus parking, VA's Proposed Action is to acquire land adjoining the VASNHCS campus to construct and operate surface parking lots. These new parking lots would be used by VASNHCS staff, Veteran patients, and visitors who currently park on the streets surrounding the VASNHCS. The parking lots may also be used by contractors during planned construction projects at the VASNHCS.

VA may consider the development of other VASNHCS-related uses on the acquired parcels in the future; however, these potential other uses are not defined at this time and are not included in this Proposed Action. If other VASNHCS-related uses are planned in the future, they would be addressed in a future supplemental analysis, as applicable, prior to development.

- a. This is a detailed description of the work that will be undertaken. Include any information about building removals, rehabilitation, and landscape alteration such as sidewalk or tree removals. The SHPO is mandated to assess the effects that a project will have on the historic resources if they are eligible for the National Register of Historic Places.**

To achieve the above described purpose, the VA has proposed the following actions.

- The VASNHCS has proposed to acquire up to eleven (11) properties for a construction project intended to increase parking at the VASNHCS campus. The planned acquisition will be for approximately 2 acres of land adjoining the campus, demolition of existing structures on said acreage, and necessary improvements to provide surface level parking spaces. Existing structures planned for demolition consist of eleven single-family and multi-family homes that are located adjacent to the VASNHCS campus and include:

two single-family residences (885 Belli Drive and 703 Balzar Circle); five duplexes (691/693 E. Taylor Street, 697/699 E. Taylor Street, 700/710 E. Taylor Street, 825/835 Kirman Avenue; and 805/807 Belli Drive); two triplexes (701/707/715 Belli Drive and 801 Belli Drive); one fourplex (825/827/829/831 Belli Drive); and four apartments (735 Belli Drive, 765 Belli Drive, 845 Belli Drive, and 865 Belli Drive), together with a handful of ancillary structures, such as garages. Acquisition of some or all of these properties will allow the VASNHCS to increase available surface parking by up to 200 spaces.

- VA's Proposed Action also includes the modification of the section of Kirman Avenue that bisects the VASNHCS campus. Primary parking at the campus is located east of Kirman Avenue and the medical center buildings are located west of Kirman Avenue. VA's proposed modification would provide improved safety for patients and staff crossing Kirman Avenue between the eastern and western portions of the campus. The proposed reduction would include reducing Kirman Avenue to one, one-way south-bound lane between E. Taylor Street and Balzar Circle.
- b. Localized map highlighting the location of the project (i.e. a copy of a portion plat or a city street map). Maps must provide the precise location of the project. If the project will occur in several locations (i.e. curb and gutter replacement at several places along a roadway), all such locations must be noted. Please ensure that street/road names are included and legible.**

Please refer to figures in Appendix A

- c. Draw/Outline/Highlight the APE for your project.**

Please refer to figures in Appendix A

- d. Describe the steps taken to identify the APE and justify the boundaries chosen. The APE is defined as the geographic area or areas within which an undertaking may directly, or indirectly, cause changes in the character or use of historic properties. In most instances, the APE is not simply the project's physical boundaries, or right-of-way. The APE is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by an undertaking. In defining the APE, you must consider not only physical effects but also visual, auditory, and atmospheric (i.e. land use, traffic patterns, public access) effects.**

The project APE is defined by those buildings and structures 45 years of age or older that may have a potential effect from the proposed undertaking, inclusive of the VA Hospital complex itself. The direct APE is defined by the footprint of the proposed undertakings as previously described, which includes the footprint of the VA Hospital complex, Kirman Avenue, and those properties that are proposed for demolition due to hospital expansion. The visual APE includes all the built environment resources or properties contained within the historic/legal boundaries of the residential subdivisions bordering the VA hospital complex, including Burkes Addition, City of Reno Wells

Addition Neighborhood Conservation District, Belli Addition, and Mountain View Subdivision. The inclusion of all four subdivisions in their entirety takes into account the broadest potential indirect or visual effects from the proposed undertaking.

Section III: Ground Disturbing Activity

- a. Describe the proposed dimensions of ground disturbing activity. Plans and specifications can be included as well. Example: 4 feet wide, 20 feet long, 2 feet deep. Please include a description of all associated activities (lay down areas; borrow pits, access roads, etc.)**

The Proposed Action involves the acquisition of 11 homes within Reno, Nevada. The home sites to be acquired will be redeveloped for surface level parking. The home sites have been developed for residential purposes and are largely disturbed with the existing homes, landscaping, driveways, etc.

Per the VA, the total proposed depth of excavation at the home sites will be approximately two feet below the ground surface. Homes to be acquired may be developed with underground heating oil tanks. For homes with underground heating oil fuel tanks, excavation will be completed for tank removal and excavation of any contaminated soils around the tanks. Depth and presence of tanks is unknown at this time. Additional excavation may further be required if demolition of the homes requires removal of tree roots and/or foundations.

- b. Describe the previous use of the land. Was it farm land, an industrial site, a homestead, etc.? Was there a utility corridor placed on the property, were sewer and waterlines placed there 10 years ago, etc.?**

All properties to be acquired are currently residential homes.

- c. Describe the current use and condition of the property.**

Residential homes

- d. Ask the landowner(s) if they are aware of any artifacts being discovered on the property at any point in time. Include their description of items that have been found, if any.**

None that the VA has been notified of at this time.

Section IV: Identification of Historic Properties

- a. List and provide construction dates for all resources 50 years of age or older located in the APE. If research has been done and no approximate date is found, the term "not found" is acceptable. If your project is located in a National Register**

eligible, listed or local historic district it is not necessary to list every structure. Identify the district and describe its general characteristics and range of construction dates.

Provided within Section I.b. for the direct APE.

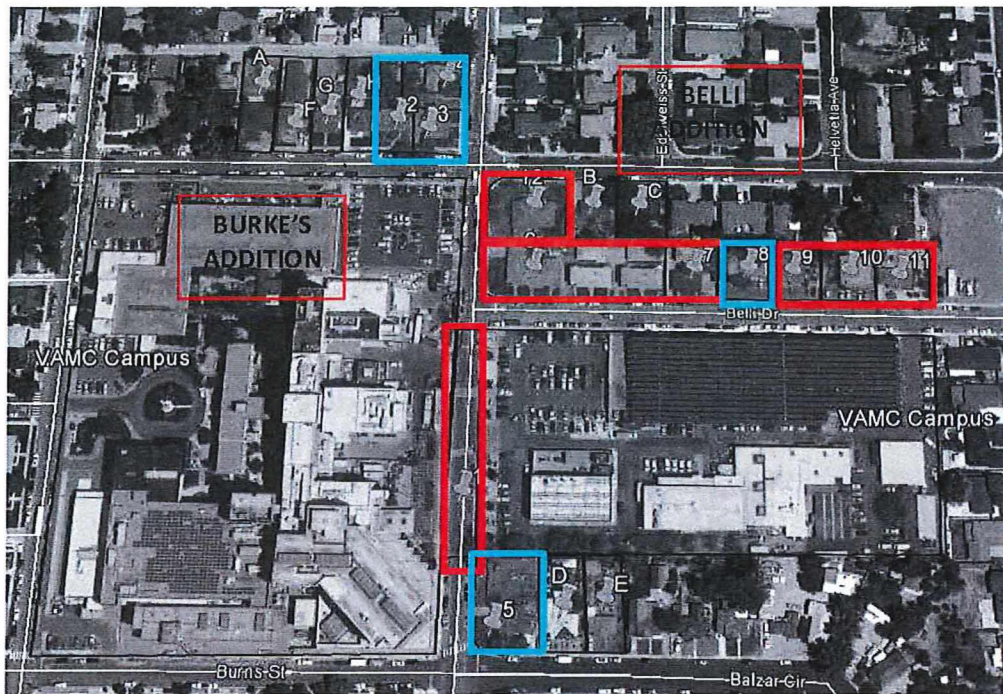
- b. A historic property is defined as any prehistoric or historic district, site, building, structure, or object that is 50 years of age or older and is listed in, or eligible for listing in, the National Register of Historic Places. It is your responsibility to make a reasonable and good faith effort to carry out appropriate identification efforts, which may include background research, consultation, oral history interviews, sample field investigation, and field survey. Searching our website or the National Register list on the National Park Service website will not identify properties eligible for listing in the National Register, and does not fulfill your responsibility to identify historic properties. Staffing levels, budget constraints, and federal regulation do not allow SHPO staff to conduct research for Section 106 compliance activities.**
- c. Please choose one.**
- d. Please describe the condition, previous disturbance to and history of any historic property located in the APE and identified on section IV of this form.**

Residential homes were developed on the properties to be acquired between 1939 and 1972. The Burke's Addition was originally platted in 1917 and the Belli Addition was originally platted in 1946.

Kirman Avenue, between E. Taylor and Burns Street, forms the eastern boundary of the proposed Burke's Addition Historic District. The road acts as a physical and cultural boundary for the district, but the road itself, other than its corridor and providing through traffic, does not contain any other significant character defining historic features. As such, closing one-lane of traffic, providing safe drop-off locations, and traffic calming devices, does not pose an "adverse effect" to the historic district. It is the finding of the VASNHCS that the partial closure of Kirman Avenue will not have an adverse effect on historic properties if the general corridor of the street is maintained.

- e. Key identified historic properties onto a localized map. This can be the same map that was created in Section III.b,c.**

Please refer to Appendix A.



Section V: Photographs

Photographs may be color or black and white. Printed digital photographs are acceptable provided they have a high dpi and clear resolution. Photographs must provide clear views (i.e. subject of the photograph should not be obscured by shadows, trees, cars, or any other type of obstruction) of any historic properties in the project's area of potential effects. If submitting a project which is, or may be in, a historic district (especially in commercial or residential neighborhoods fifty years of age or older) please submit representative streetscape views of the built environment in the project's area of potential effects to provide the SHPO with an idea of the architectural context. Remember to key all photographs to your map.

- a. **Please photograph the location where the project will be taking place. If the project covers a large area, please provide several views.**

Photographs of the properties within the direct APE are included within the Nevada SHPO Architectural Resource Assessment (ARA) forms re-submitted in December 2015. Photographs of the indirect APE are included in Appendix B.

- b. **Please provide photographs of properties identified in Section IV.a. If the project is located in a National Register eligible, listed or local historic district it is not necessary to photograph every structure. Streetscape photographs that clearly illustrate the district are sufficient.**

Please refer to Appendix B.

Section VI: Determination of Effect

Following a reasonable and good faith effort to identify historic properties within the project's area of potential effects provide the SHPO with your finding of the project's effect upon historic properties within the project's area of potential effects.

The VASNHCS is conducting a review of potential cultural and historic resources that may be affected by the Undertaking, per the requirements of the National Historic Preservation Act (NHPA) of 1966, contained within Title 16 of the United States Code (16 U.S.C.), Part 470. Section 106 of NHPA requires Federal agencies to consider the effects of their actions on historic properties.

- a. **For a determination of: (1) *no historic properties affected* [36 CFR 800.4(d)(1)] in which there are either no historic properties present or no historic properties affected, include the justification for this determination.**

Not Applicable to this Undertaking

- b. **For a determination of: *no adverse effect* [36 CFR § 800.5(b)]; explain why the criteria of adverse effect [36 CFR § 800.5(a)(1)] were not found applicable and include any conditions to avoid, minimize, or mitigate adverse effects. Adverse effects must be resolved in consultation with the SHPO pursuant to 36 CFR § 800.6. Please indicate the efforts undertaken to seek views provided by consulting parties and the public pursuant to 36 CFR § 800.6(a)(4), and provide copies or summaries of this information to the SHPO.**

- The VASNHCS proposes that a finding of *No Adverse Effect* is appropriate for the modification of and partial closure of one lane of traffic along a portion of Kirman Avenue as well as construction and use of street level parking.

- c. **For a determination of: *adverse effect* [36 CFR § 800.5(d)(2)]; explain why the criteria of adverse effect [36 CFR § 800.5(a)(1)] were found applicable and include any conditions to avoid, minimize, or mitigate adverse effects. Adverse effects must be resolved in consultation with the SHPO pursuant to 36 CFR § 800.6. Please indicate the efforts undertaken to seek views provided by consulting parties and the public pursuant to 36 CFR § 800.6(a)(4), and provide copies or summaries of this information to the SHPO.**

- The VASNHCS proposes that a Finding of *Adverse Effect* is appropriate regarding the property acquisition(s) and demolition.

The VASNHCS is seeking the State of Nevada Department of Conservation and Natural Resources, State Historic Preservation Office (NSHPO), concurrence on the findings, pursuant to 36 CFR §800.5(a).

Appendix A	Site Location and Area of Potential Effect (APE) Maps
Appendix B	Photographs of the Indirect APE
Appendix C	Section 106 Consultation Letters Submitted to the Nevada SHPO
Appendix D	Cultural and Historic Resource Assessments
Appendix E	Architectural Resource Assessment (ARA) Forms for Acquisition Properties

Appendix A

Site Location and Area of Potential Effect (APE) Maps

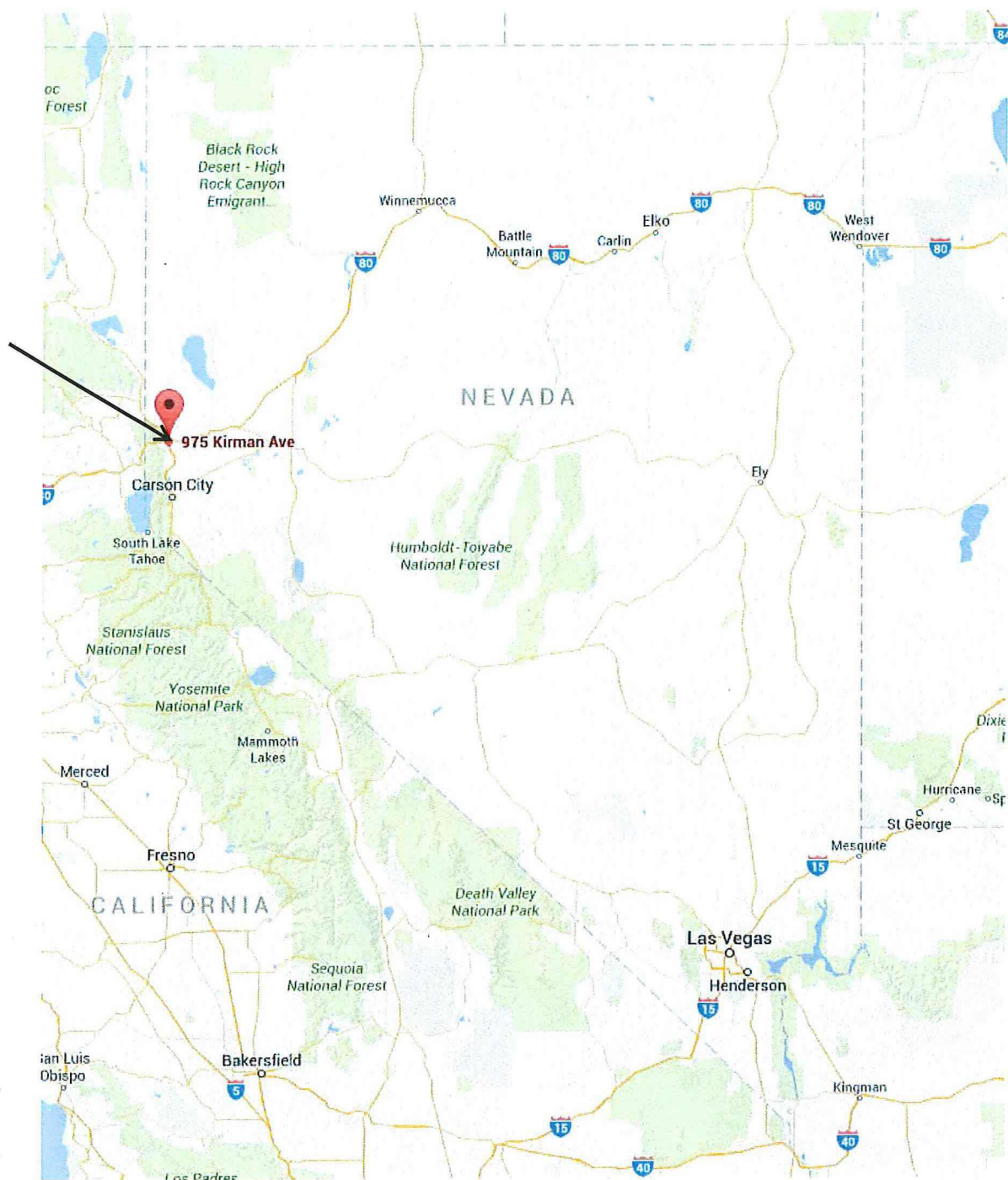


IMAGE SOURCE: GOOGLE MAPS



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM

SCALE: As Shown

REVIEWED BY: HDM

DRAWN BY: HDM

DATE: 12/2015

FILE: SITE VICINITY

FIGURE 1

VASNHCs Location within NEVADA

Department of Veterans Affairs
Sierra Nevada Health Care System
975 Kirman Avenue
Reno, Nevada
WASHOE COUNTY

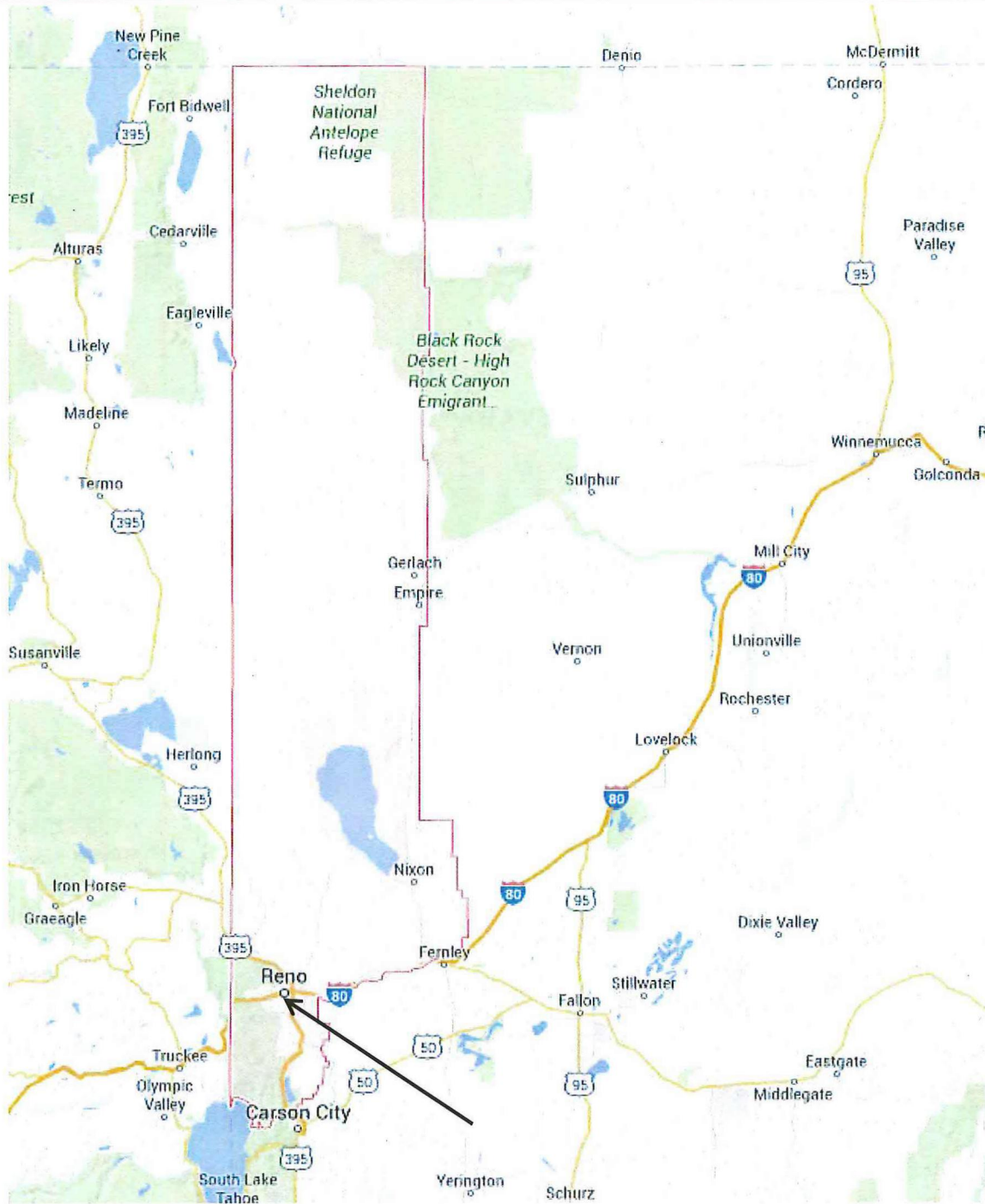


IMAGE SOURCE: GOOGLE MAPS



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM	SCALE: As Shown	REVIEWED BY: HDM
DRAWN BY: HDM	DATE: 12/2015	FILE: SITE VICINITY

FIGURE 2
WASHOE COUNTY, NEVADA
 Department of Veterans Affairs
 Sierra Nevada Health Care System
 975 Kirman Avenue
 Reno, Nevada
 WASHOE COUNTY

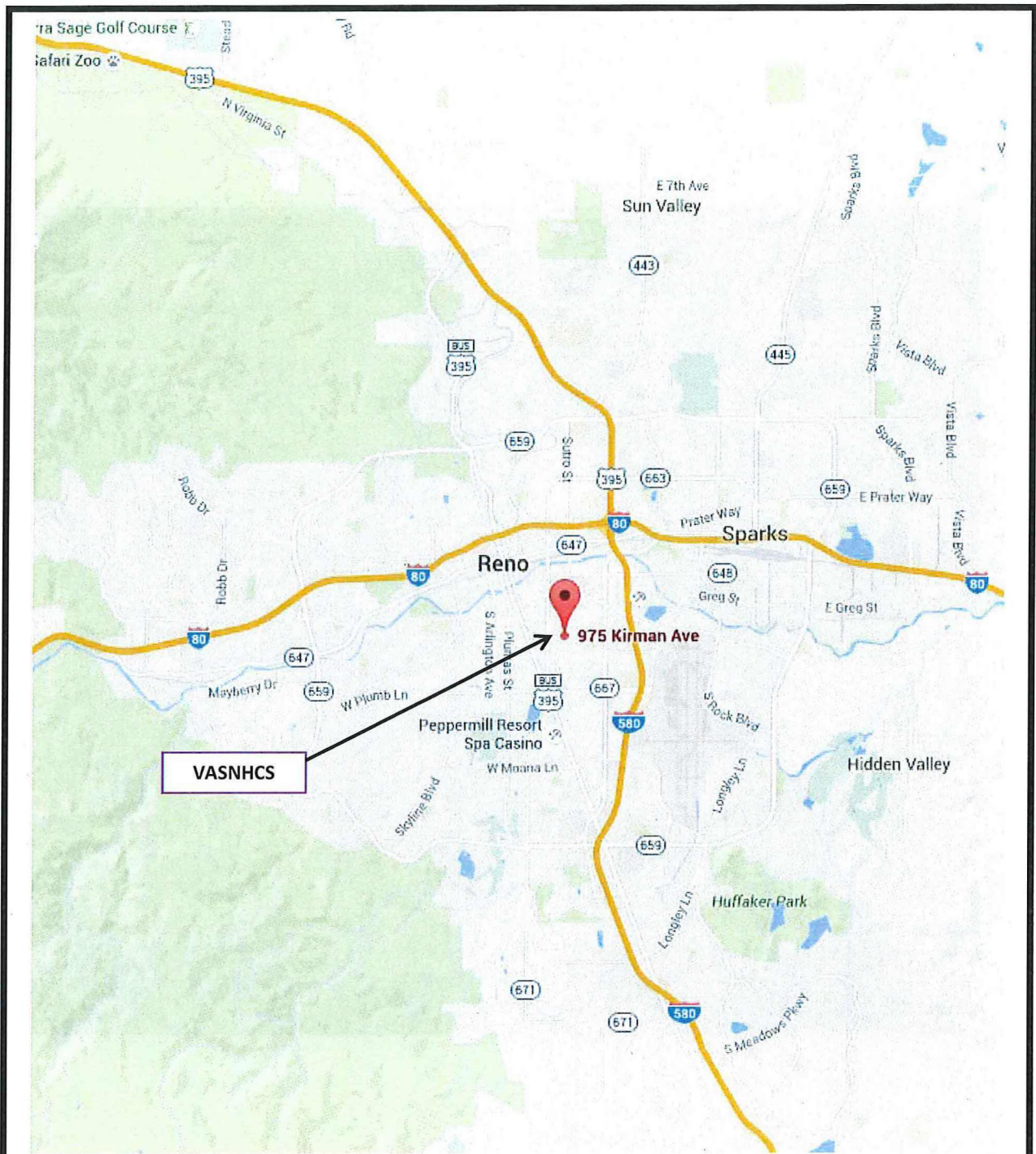


IMAGE SOURCE: GOOGLE MAPS



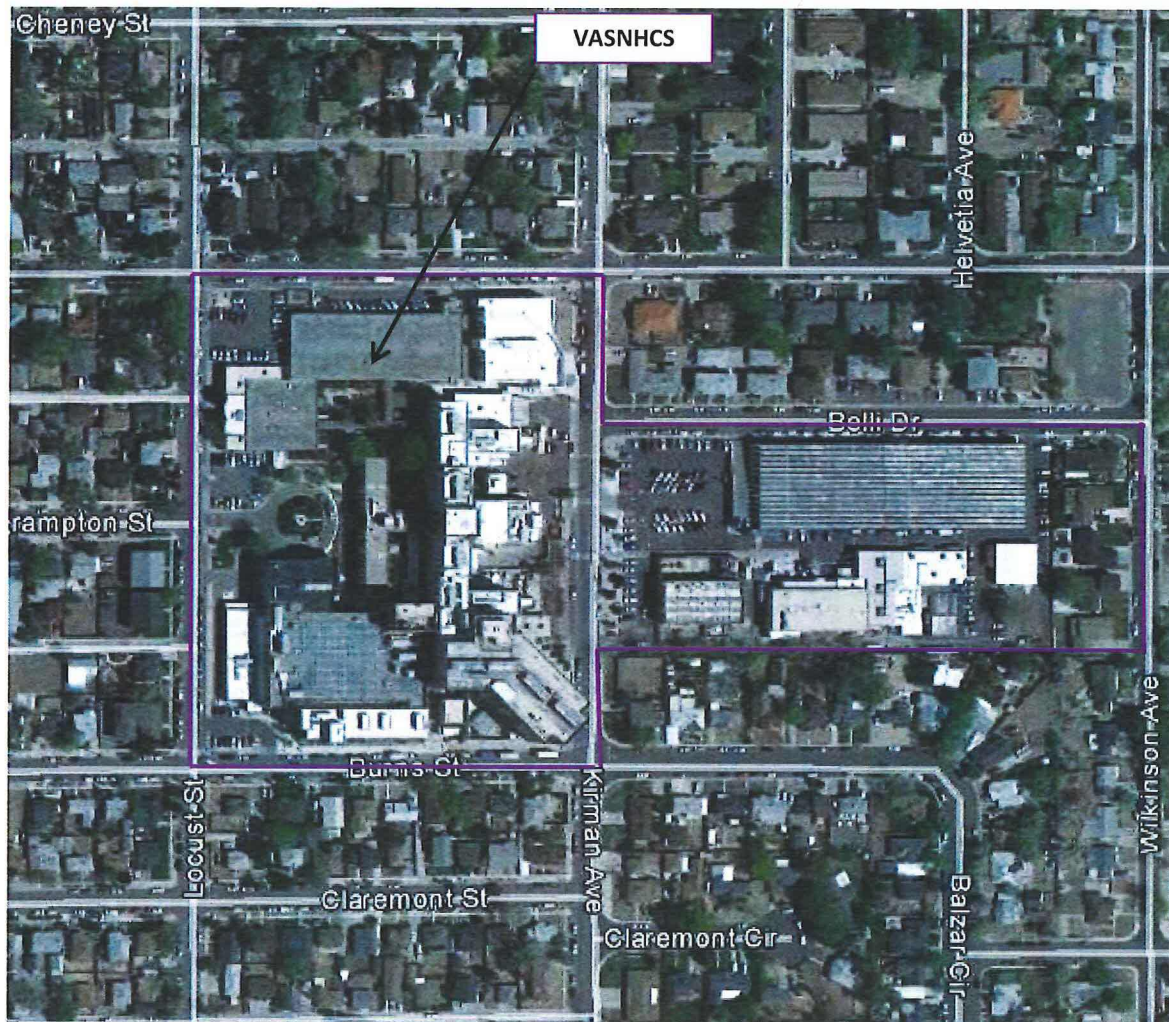
PROJECT NO: 15.10122.0001

DESIGNED BY: HDM	SCALE: As Shown	REVIEWED BY: HDM
DRAWN BY: HDM	DATE: 12/2015	FILE: SITE VICINITY

FIGURE 3

VASNHCS Location within RENO

Department of Veterans Affairs
Sierra Nevada Health Care System
975 Kirman Avenue
Reno, Nevada
WASHOE COUNTY



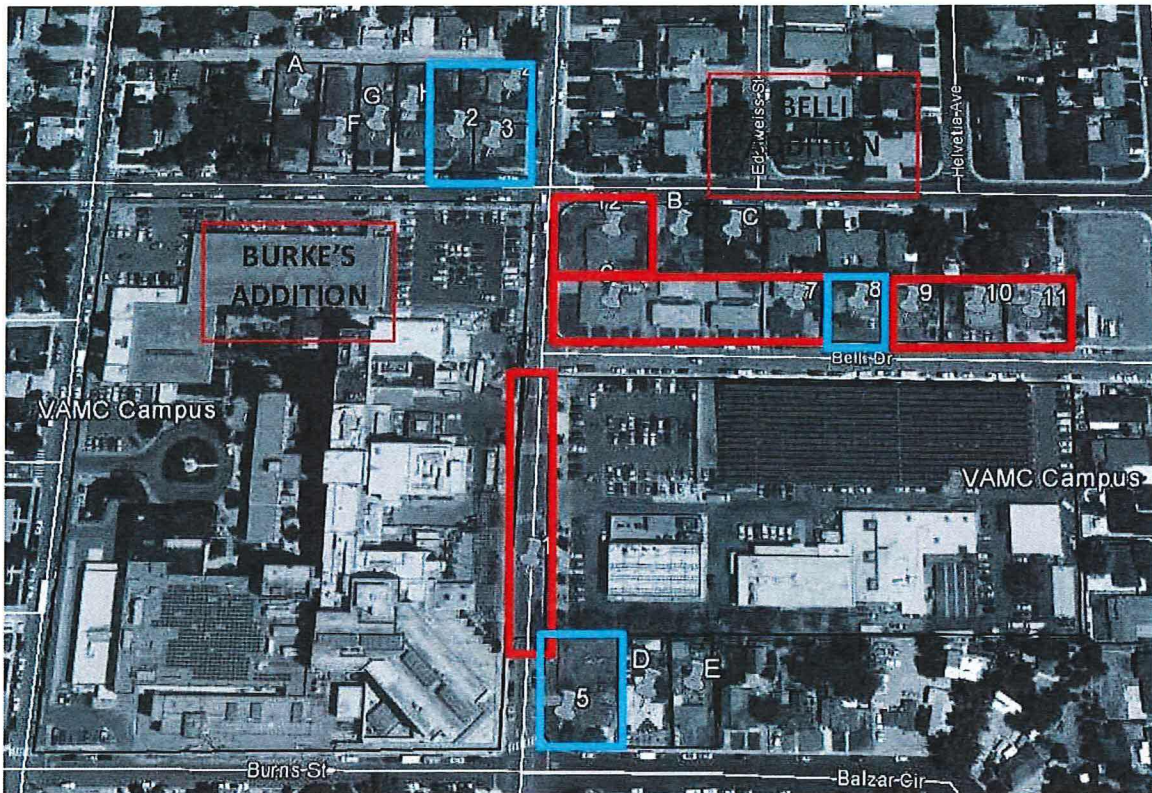
SOURCE: GOOGLE EARTH



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM	SCALE: As Shown	REVIEWED BY: HDM
DRAWN BY: HDM	DATE: 12/2015	FILE: SITE VICINITY

FIGURE 4
VASNHCS SITE LOCATION MAP
 Department of Veterans Affairs
 Sierra Nevada Health Care System
 975 Kirman Avenue
 Reno, Nevada
 WASHOE COUNTY



Direct Area of Potential Effect (properties proposed for acquisition)

The APE for direct effects includes the home sites included on image as numbers 1 (Kirman Avenue) through 12 (individual home sites). Sites outlined in BLUE are not eligible for listing on the *National Register of Historic Places* (NRHP) nor are they eligible as contributing resources to a (proposed) historic district. Sites outlined in RED are not individually eligible for listing on the NRHP, but would be considered contributing elements to a (proposed) historic district.

IMAGE SOURCE: Google Earth, 2015



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM	SCALE: As Shown	REVIEWED BY: HDM
DRAWN BY: HDM	DATE: 12/2015	FILE: VASNHCS APE

FIGURE 5a
DIRECT APE - PARCELS PROPOSED for ACQUISITION

Department of Veterans Affairs
Sierra Nevada Health Care System
975 Kirman Avenue
Reno, Nevada

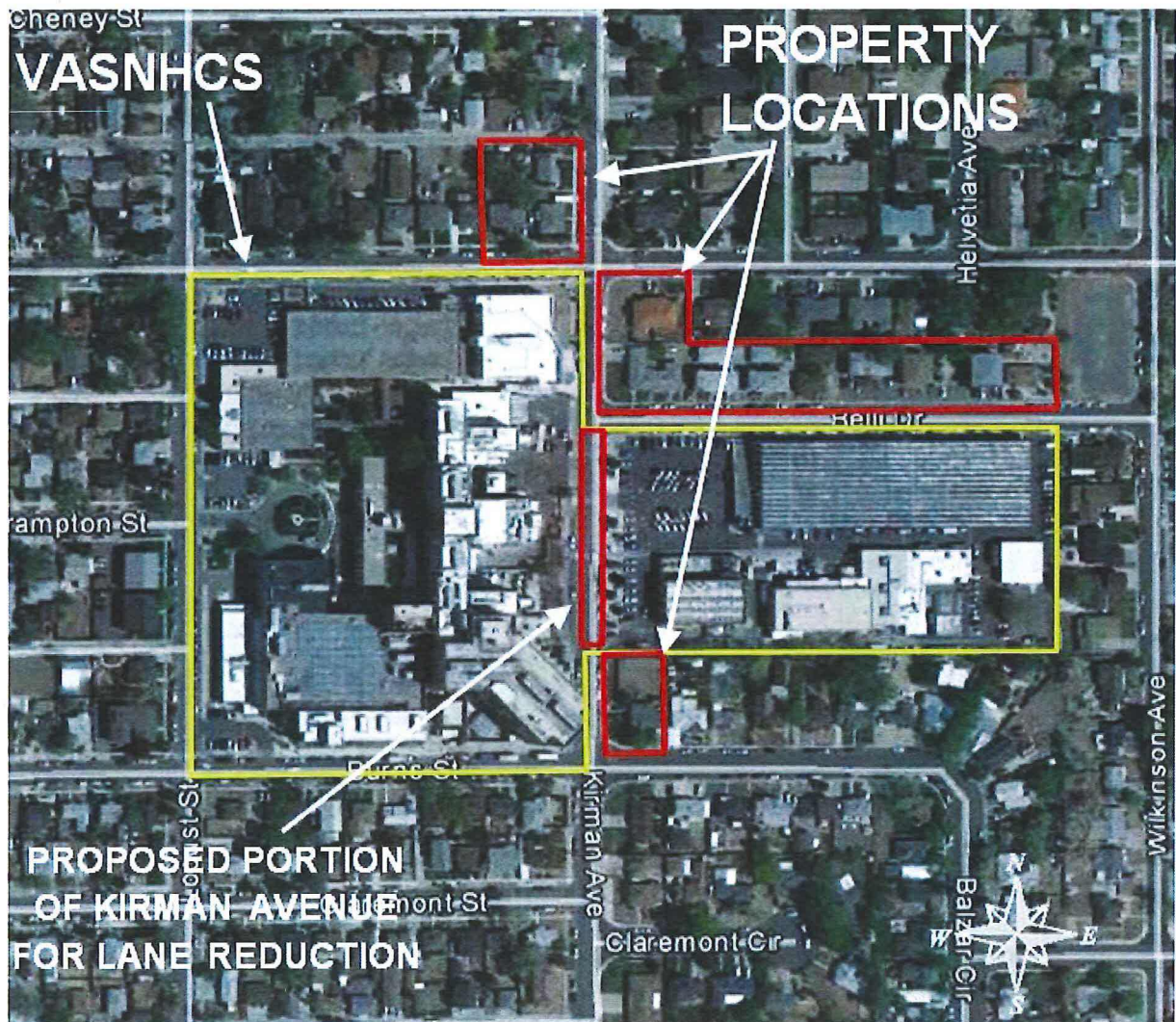


IMAGE SOURCE: Google Earth, 2015



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM

SCALE: As Shown

REVIEWED BY: HDM

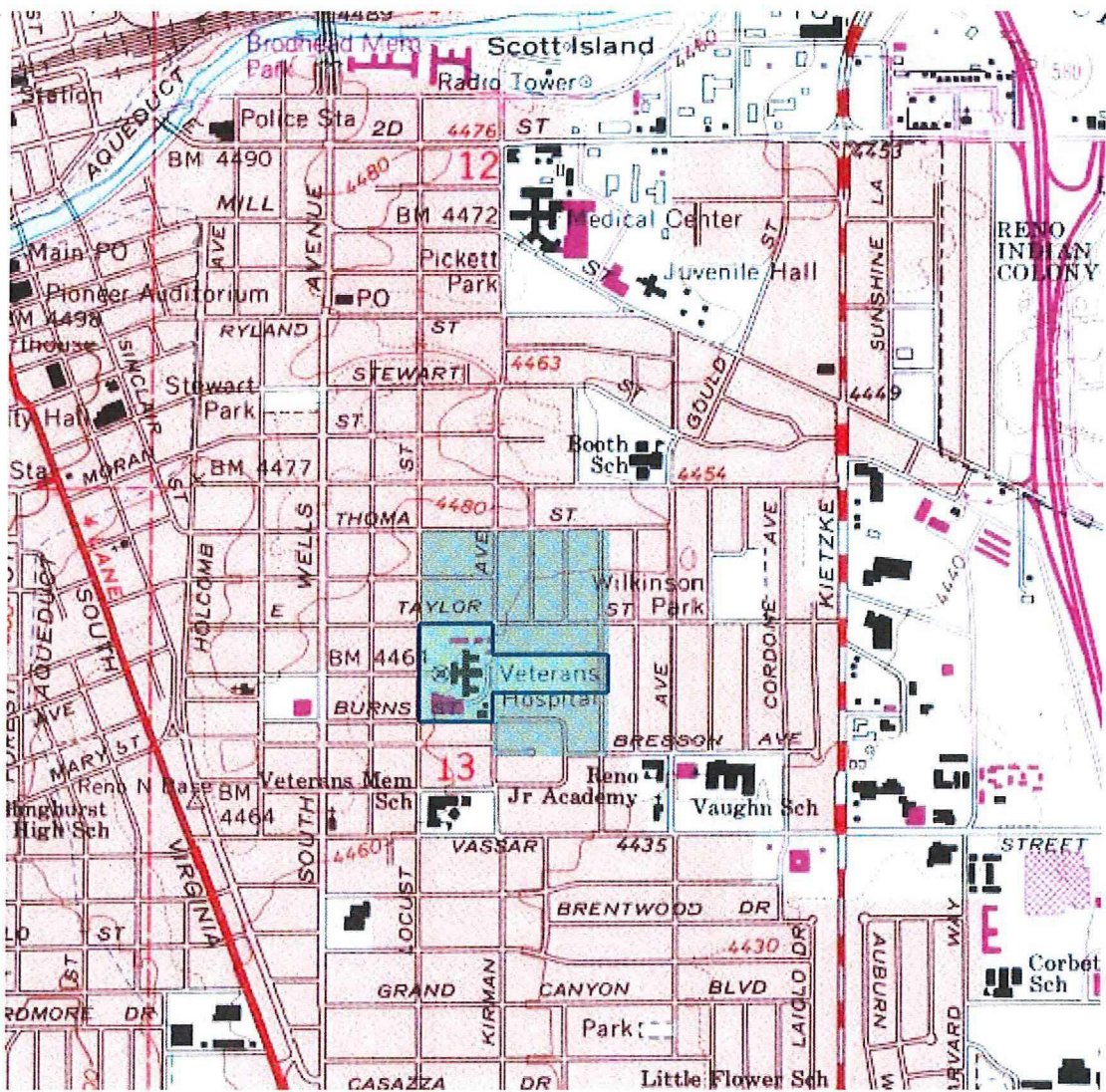
DRAWN BY: HDM

DATE: 12/2015

FILE: VASNHCS APE

FIGURE 5b
DIRECT APE - PARCELS PROPOSED for
ACQUISITION

Department of Veterans Affairs
Sierra Nevada Health Care System
975 Kirman Avenue
Reno, Nevada



SOURCE: UNITED STATES GEOLOGICAL SURVEY RENO, QUADRANGLE, NEVADA (7.5-MINUTE SERIES) MAP.



PROJECT NO: 15.10122.0001

DESIGNED BY: HDM

SCALE: As Shown

REVIEWED BY: HDM

DRAWN BY: HDM

DATE: 12/2015

FILE: SITE LOCATION

FIGURE 6 INDIRECT (VISUAL) AREA OF POTENTIAL EFFECT

Department of Veterans Affairs
Sierra Nevada Health Care System
975 Kirman Avenue
Reno, Nevada

Appendix B

Photographs of the Indirect APE

PHOTOGRAPH RECORD
VASNHCS EXPANSION PROJECT
Reno, Washoe County, Nevada
May 25, 2015



Photograph 1: View looking northwest from the corner of Balzar Circle and Kirman Avenue towards the Veterans Administration (VA) Hospital on the left.



Photograph 2: View looking east at the northern portion of Balzar Circle from Kirman Avenue towards the Mountain View Subdivision.



Photograph 3: Another view looking northwest from the south corner of Balzar Circle at the intersection of Kirman Avenue. The VA Hospital lies immediately to the left.



Photograph 4: View looking north from the intersection of Balzar Circle south at the intersection of Kirman Avenue towards the VA Hospital in the background.



Photograph 5: View looking east down the south end of Balzar Circle into the Mountain View Subdivision from Balzar Circle.



Photograph 6: View looking west from E. Taylor Street towards the VA Hospital.



Photograph 7: View looking northwest from the east side of E. Taylor Street across Kirman Avenue. The VA Hospital lies to the left, just outside the photograph.



Photograph 8: View looking south down Kirman Avenue just north of its intersection with E. Taylor Street towards the VA Hospital.



Photograph 9: View looking south down Kirman Avenue from just north of 825/835 Kirman Avenue towards the VA Hospital in the distance.



Photograph 10: View looking north up Edelweiss Street from E. Taylor Street within the Belli Addition.



Photograph 11: View looking south along Edelweiss Street from Thoma Street.



Photograph 12: View looking north across Thoma Street along Edelweiss Street in the Belli Addition.



Photograph 13: View looking south down Eldelweiss Street from Thoma Street in the Belli Addition.



Photograph 14: View looking south down Kirman Avenue towards the VA Hospital from the intersection of Thoma Street.



Photograph 15: View looking directly south in the center of Kirman Avenue at its intersection with E. Taylor Street towards the VA Hospital and the southwest edge of the Belli Addition.



Photograph 16: View looking due west from the intersection of Belli Drive and Kirman Avenue towards the VA Hospital.



Photograph 17: Another view looking south down Kirman Avenue along the section of roadway considered for closure to vehicular traffic.



Photograph 18: View looking east down Belli Drive from its intersection with Kirman Avenue.



Photograph 19: View looking north up Kirman Avenue across from the VA Hospital near the intersection of Belli Drive.



Photograph 20: View looking east from the VA Hospital down Belli Drive at the residences on the left proposed for removal as a result of an expanded parking plan.



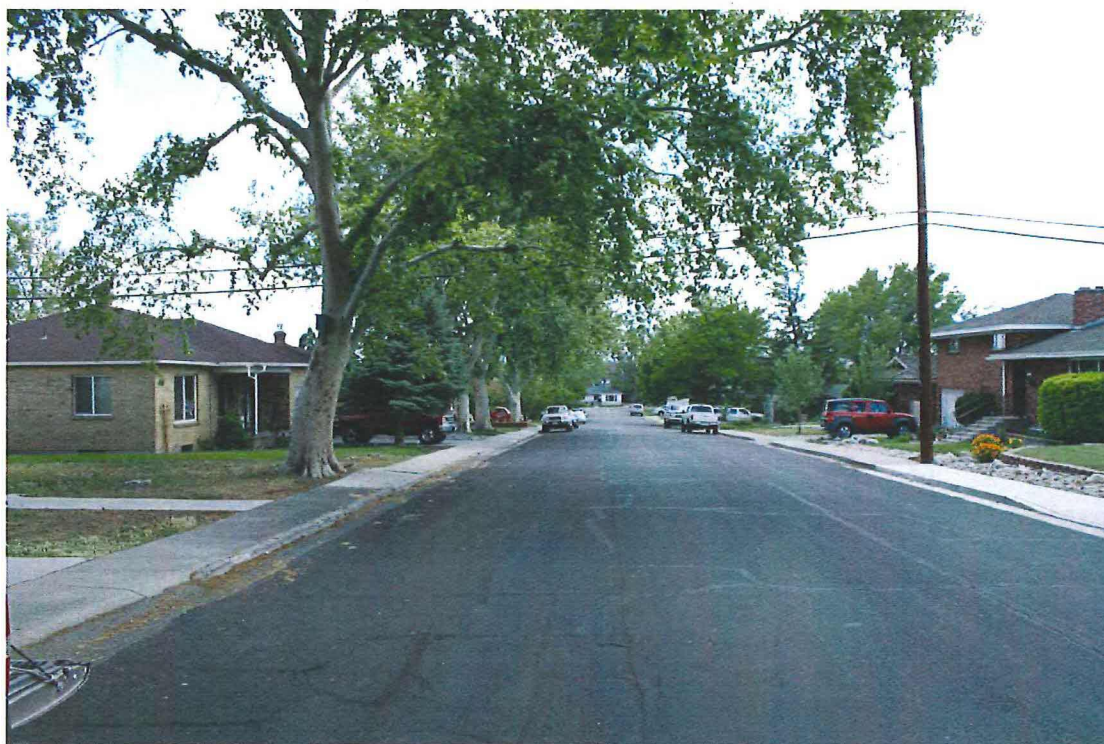
Photograph 21: View looking west down Belli Drive towards Kirman Avenue and the VA Hospital.



Photograph 22: Another view looking west down Belli Drive towards Kirman Avenue and the VA Hospital in the distance.



Photograph 23: View looking along Helvetia Avenue from E. Taylor Street.



*Photograph 24: View looking south down Helvetia Avenue within the Belli Addition.
From this point of reference the VA Hospital lies outside the viewshed.*



Photograph 25: View looking north from the intersection of Helvetia Avenue and Thoma Street in the Belli Addition.



Photograph 26: View looking west down Thoma Street from Helvetia Avenue.



Photograph 27: Similar view as Photograph 26.



Photograph 28: View looking east from the intersection of Thoma Street and Helvetia Avenue.



Photograph 29: View looking west from the intersection of Thoma Street and Locust Street in Burkes Addition.



Photograph 30: Another view of Burkes Addition from the intersection of Thoma Street and Locust Street.



Photograph 31: Typical brick single-family Craftsman residence in Burkes Addition.



Photograph 32: Looking down Thoma Street in the Burkes Addition at the intersection of Wilson Avenue.



Photograph 33: Another view in the Burkes Addition at the intersection of Thoma Street and Wilson Avenue.



Photograph 34: View looking south at the intersection of Thoma Street and Wilson Avenue.

Appendix C

Section 106 Consultation Letters Submitted to the Nevada SHPO



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SHPO Report Number:

SHPO Undertaking Number:

**NEVADA STATE HISTORIC PRESERVATION OFFICE
CULTURAL RESOURCES SURVEY COVERSHEET**

1. Primary Lead Agency: United States Department of Veterans Affairs
2. Other Federal Agencies involved: None
3. Lead Agency Report Number: _____
4. District Present Yes
5. Proponent: United States Department of Veterans Affairs
6. Report Title: Architectural Resources Assessment Study of the
VASNHCS Expansion Project, Reno, Washoe County, Nevada
7. Author(s): Dana E. Supernowicz
8. Submitted Report Date: 06/01/2015
9. Completed Report Year: 2015
10. County(s): Washoe
11. Survey Acreage: Approx. 100
12. Survey Type: Class III ☐ _____
Class I ☐ _____
Class II ☒ _____
OTHER ☐ _____
13. Total Number of Resources in report: 18
14. Survey Dates: 04/29/2015 to 05/25/2015
15. Comments:

Both the Burkes Addition (part of Well's Historic Neighborhood) and the Belli Addition were found to retain integrity and had a high percentage of contributing properties to be considered potentially eligible as NRHP historic districts. As a whole the Mountain View Subdivision lacked integrity and had a high percentage of non-contributing properties. As such, it was recommended that the subdivision was not eligible as a potential NRHP historic district. None of the properties in the direct APE for Burkes Addition were found to be eligible, either individually or as part of a historic district. Only one of the properties in the Belli Addition was found to be a non-contributor to the historic district.

16. Resource Information and Eligibility Status

for a total of 35 per page

[illegible]

*If more space is needed, please attach Coversheet Continuation Form.



DEPARTMENT OF VETERANS AFFAIRS
Office of Construction & Facilities Management
Washington DC 20420

June 1, 2015

Ms. Rebecca Palmer
Nevada State Historic Preservation Office
901 S. Stewart Street, Suite 5004
Carson City, Nevada 89701-4285

Re: National Historic Preservation Act
Section 106 Consultation
Proposed Acquisition of Properties at the VA Sierra Nevada Health Care System (VASNHCS)

Dear Ms. Palmer:

Diablo Green Consulting, Inc. (Diablo Green) is an environmental and cultural resources consultant for the United States Department of Veterans Affairs (VA) for proposed modifications at the VA Sierra Nevada Health Care System (VASNHCS) in Reno, Nevada. The VA, in order to serve and care for Veterans in Northern Nevada, is undertaking various infrastructure enhancements and projects at the **VA Sierra Nevada Health Care System (VASNHCS) hospital at 975 Kirman Avenue in Reno, Washoe County, Nevada.**

The VASNHCS has significant issues with parking and accessibility of the hospital from the surrounding streets. Therefore, the VASNHCS has proposed the acquisition of up to eleven properties in the area immediately surrounding the hospital campus with the purpose of utilizing those properties for surface street parking. Modifications to Kirman Avenue, abutting the hospital campus, may also be required as part of these proposed actions. The impacts to Kirman Avenue will be determined after it is determined which properties are available for the proposed acquisition.

The enclosed documentation is being submitted in accordance with Section 106 of the National Historic Preservation Act (36 CFR 800) to initiate Section 106 consultation and concur on *National Historic Register of Historic Places* eligibility of eleven (11) properties that are proposed for acquisition by the VASNHCS.

The principal Section 106 specialists for these investigations meet the professional qualifications listed in the Archaeology and Historic Preservation: Secretary of the Interior's Standards and Guidelines.

Dana E. Supernowicz is a Registered Professional Archaeologist (RPA) and meets the Secretary of the Interior Standards for the fields of architectural history, archaeology, and history, pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A. Mr. Supernowicz has extensive experience in the preparation, review and coordination of Memorandum of Agreements (MOAs) and large Programmatic Agreements (PAs) with State Historic Preservation Offices and both private and government firms. He has a long and diversified professional career in the field of cultural resource management, having worked for the United States Forest Service, Bureau of Land Management, National Park Service, California Office of

Historic Preservation, and California Department of Transportation preparing Agreement documents, National Register nominations, and completing Section 106 reports. Mr. Supernowicz worked for the California State Historic Preservation Office (SHPO) as a staff reviewer in the Section 106 unit. During his tenure with the SHPO, Mr. Supernowicz assisted in the development of Programmatic Agreements (PAs), Memorandum of Agreements (MOAs), and other agreement documents. He reviewed reports prepared by over 20 federal agencies, assisted in planning efforts for the office, and oversaw dispute resolutions on historic preservation projects. Mr. Supernowicz has been professionally involved in the research and documentation of historic districts, sites, buildings and structures since 1976. He has worked for a variety of federal and state agencies including Caltrans, the Department of Parks and Recreation, National Park Service, and Bureau of Land Management. He was the first full-time historian employed by the U.S. Forest Service in California, and served as the first Regional Historian and Zone Historian for California. Mr. Supernowicz has experience both in historical and archaeological studies, both large and small, including those initiated by city and state governments. Mr. Supernowicz has authored and co-authored numerous reports and published articles. Several of those reports focused on establishing design guidelines and standards for evaluating historic properties.

Chris Webster is a Registered Professional Archaeologist (RPA) and maintains a Master of Science degree in Archaeological Resource Management from the University of Georgia, Athens, and earned a Bachelor of Arts in Anthropology from the University of North Dakota. Mr. Webster is a member of the Nevada Archaeological Association, Nevada Mining Association and the Geological Society of Nevada. He is permitted as a Principal Investigator by the Nevada and California Bureau of Land Management (BLM). Mr. Webster has worked throughout the United States with a focus in the West and is permitted as a Principal Investigator by the Nevada and California Bureau of Land Management (BLM). Mr. Webster has completed archival and field research for federally permitted projects throughout Nevada and California including completing Section 106 review through the State of Nevada State Historic Preservation Office (SHPO). Mr. Webster is a member of the Register of Professional Archaeologists, Society for American Archaeology, Nevada Archaeological Association, Nevada Mining Association and the Geological Society of Nevada.

SITE LOCATION

The VA Sierra Nevada Health Care System is located in Reno, Nevada, bordered by East Taylor Street on the north, Kirman Avenue on the east, Burns Street on the south and Locust Street on the west. A small hospital was approved for construction in Reno in 1935 under President Roosevelt, and the hospital was first opened in June 1939. Multiple additions, beginning with the opening of Building 1A in 1947 up to the latest building construction in 2014 as well as future proposed development, have grown the hospital to the expansive campus that it is today to better serve and care for the Veterans within and around Reno, Nevada.

PROPOSED UNDERTAKING

The U. S. Department of Veterans Affairs ("VA") seeks to acquire land adjacent to the VASNHCS, in Reno, Washoe County, Nevada to improve parking and accessibility. Modifications to Kirman Avenue, abutting the hospital campus, may also be required as part of these proposed actions. The impacts to Kirman Avenue will be determined after it is determined which properties are available for the proposed acquisition.

The VASNHCS has proposed to acquire up to eleven properties for a construction project intended to increase parking at the VASNHCS campus. The eleven subject properties, owned by nine different landowners, consist of single-family and multi-family homes that are located adjacent to the VASNHCS campus in Reno, Nevada. Acquisition of some or all of these properties will allow the VASNHCS to increase available surface parking by up to 580 spaces; depending upon which properties the VASNHCS is able to acquire, closure of roads may be needed to create a contiguous campus, enhance accessibility, and ensure pedestrian safety.

DIRECT AND INDIRECT AREA OF POTENTIAL EFFECTS (APE)

The Area of Potential Effect (APE) for *direct effects*, including archaeological and cultural resources, includes the areas of the direct ground disturbance plus temporary staging areas within the neighborhoods. It is presumed that staging areas for demolition and construction will include public city street right-of-ways and the properties themselves. Therefore, the APE for direct effects includes the home sites.

The APE for *indirect effects* includes homes surrounding the eleven properties proposed for acquisition, which includes portions of the Burke's, Belli and Mountain View subdivisions surrounding the VASNHCS.

- The Nevada SHPO is actively reviewing a proposed project at the VASNHCS involving renovations to Buildings 1 and 1A (SHPO Reference 2014-3179 19876). Ms. Marcel Quimby of Quimby McCoy Preservation Architecture, LLP (Quimby McCoy), has assessed the Area of Potential Effect (APE) for the proposed modifications at Buildings 1 and 1A.
- For the purposes of this Section 106 consultation regarding the proposed acquisition of eleven properties surrounding the VASNHCS hospital, the APE defined within the reports submitted by Quimby McCoy is presumed to be inclusive of the APE for this proposed eleven property acquisition. Please reference the Quimby McCoy report included within Appendix B for further demonstration of this defined APE.

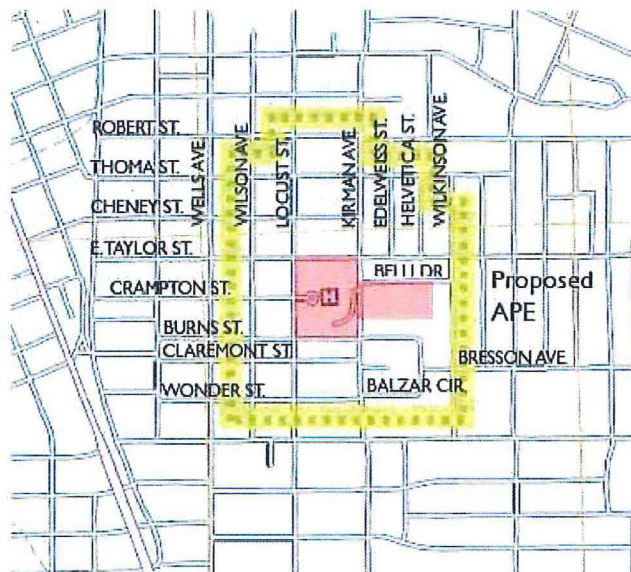


Image Source: Quimby McCoy, May 1, 2015

The survey of architectural properties that will or may be affected as part of the eleven (11) property acquisition was conducted by Mr. Dana Supernowicz. As stated above, Mr Supernowicz meets the Secretary of the Interior's Professional Qualification Standards for Historic Architecture and Historic Preservation.

ARCHAEOLOGICAL AND HISTORICAL RESOURCES ASSESSMENT – INITIAL STUDY

Diablo Green has completed an evaluation to determine if the proposed property acquisition that is proposed will affect historic or archaeological properties.

To complete this assessment, Mr. Chris Webster, RPA, completed a field inspection of the study area to the extent feasible from areas normally open to the public, and without conducting excavations or other modifications of the land, landscaping, buildings, or structures, to document the general character of each area and its buildings, structures, and other cultural features. Please see the attached cultural resources report (Appendix A) for a comprehensive discussion of findings. This assessment did not identify specific cultural resources concerns in the proposed project area. However, further investigation of the homes to be acquired within the Burke's, Belli and Mountain View subdivisions was recommended to establish if those resources would be considered eligible for listing on the *National Register of Historic Places* and/or as part of a historic district.

ARCHITECTURAL / HISTORICAL ASSESSMENT OF PROPERTIES TO BE ACQUIRED

The minor project at the VASNHCS will include the acquisition of up to eleven (11) properties. An evaluation of the eleven properties that are proposed for acquisition was completed by Mr. Dana Supernowicz.

The sites to be impacted are summarized below and depicted on the below map.



The site is approximately 2.2 acres in area and includes 11 parcels and the portion of Kirman Avenue between Belli Drive and Balzar Circle. The site is currently occupied by two single-family residences (885 Belli Drive and 703 Balzar Circle), five duplex residences (691/693, 697/699, and 700-710 East Taylor Street; 825/835 Kirman Avenue; and 805/807 Belli Drive), one triplex residences complex (701/707/715 Belli Drive), one quadplex residence (825/827/829/831 Belli Drive), four apartment complexes (735, 765, 845 and 865 Belli Drive), one automobile garage with apartments (801 Belli Drive), five automobile garages associated with 691/693 East Taylor Street, 825/835 Kirman Avenue, and 701 – 715, 735, and 765 Belli Drive), five storage sheds associated with 845, 865, and 885 (three sheds) Belli Drive, and the portion of Kirman Avenue between Belli Drive and Balzar Circle.

Northern Portion of the Site

The northern portion of the site was unimproved land from at least 1939 to 1948. Since 1948, the northern portion of the site has been occupied by three residential structures, including 691/693 East Taylor Street (constructed in approximately 1953), 697/699 East Taylor Street (constructed in approximately 1954), and the home at 825/835 Kirman Avenue (constructed in approximately 1948). In addition, two garages associated with 691/693 East Taylor Street and 825/835 Kirman Avenue have been present since at least 1953.

Central Portion of the Site

The central portion of the site was unimproved land from at least 1939 to approximately 1952. Since 1952, the central portion of the site has been occupied by nine single and multi-family residential structures, including 700-710 East Taylor Street (constructed in approximately 1953), 701 – 715 Belli Drive (constructed in approximately 1955), 735 Belli Drive (constructed in approximately 1952), 765 Belli Drive (constructed in approximately 1952), 801 – 807 Belli Drive (constructed in approximately 1955), 825 – 831 Belli Drive (constructed in approximately 1972), 845 Belli Drive (constructed in approximately 1958), 865 Belli Drive (constructed in approximately 1958), and 885 Belli Drive (constructed in approximately 1946). In addition, four garages associated with 701 – 715, 735, and 765, and 801 – 807 Belli Drive have been present since at least 1959.

Southern Portion of the Site

The southern portion of the site was unimproved land from at least 1939 to approximately 1940. Since 1940, the southern portion of the site has been occupied by one residential structure, identified as 703 Balzar Circle, constructed in approximately 1940.

Mr. Dana Supernowicz completed a field assessment and historic review of the properties proposed for acquisition in March and April 2015 (Appendix C). Architectural Resource Assessment (ARA) recordation forms have been completed in accordance with the Nevada State Historic Preservation Office (SHPO) requirements, which are included in Appendix D.

FINDINGS

Based on the historic property assessments that have been completed, it is the finding of the VASNHCS that eight (8) properties appear to be contributing properties to the proposed Belli Addition Historic District, including 700-710 East Taylor Street, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805-807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive.

Further, it is the finding of the VASNHCS that the Wells Neighborhood, inclusive of 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street, being located in Burke's Addition, is proposed as a NRHP historic district defined by Vassar Street to north of Stewart Street and bounded by Kirman Avenue to the east. The Wells Avenue Neighborhood is designated as a Conservation District by the City of Reno; the Burke's Addition subdivision is a portion of the Wells Neighborhood. The properties at 691/693 E. Taylor Street and 697/699 E. Taylor Street lie outside the proposed historic district's period of significance (1904-1945). Due to lack of integrity, the property at 825/835 Kirman Avenue does not appear to be a contributing element of the historic district and the property does not appear to be individually eligible for the NRHP.

In regards to the parcels identified in the direct project APE, with the exception of 825/827/829/831 Belli Drive, which was built in 1972 and beyond the proposed period of significance (1965), the remaining properties in the direct project APE retain very good to excellent integrity, including 700/710 E. Taylor Street, 701/707/715 Belli Drive, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805/807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive. Therefore, it is the finding of the VASNHCS that these properties represent contributing properties to a proposed NRHP historic district that includes the north side of Belli Drive between Kirman Avenue and Wilkinson Avenue, the east side of Kirman Avenue between Roberts Street on the north and Belli Drive on the south, the west side of Wilkinson Avenue between Belli Drive and Roberts Street, the portion of E. Taylor Street between Kirman Avenue and Wilkinson Avenue, and the entirety of Edelweiss Street, and Helvetia Street.

The property at 825/827/829/831 Belli Drive does not appear to be a contributing property under NRHP Criterion C to the Belli Addition Historic District and the property does not appear to be individually eligible for the NRHP. Further, as an individual property, 703 Balzar Circle does not appear to be eligible for the NRHP under Criteria C, largely due its compromised integrity of design, materials, workmanship, and feeling.

Photographs of the direct and indirect APE are further included in Appendix E.

CONCLUSIONS

None of the properties appear to be eligible for individual listing on the *National Register of Historic Places* (NRHP).

- Eight (8) properties appear to be contributing properties to the proposed Belli Addition Historic District, including **700-710 East Taylor Street, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805-807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive.**
- The Wells Neighborhood, inclusive of **825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street,** being located in Burke's Addition, has potential as an NRHP historic district defined by Vassar Street to north of Stewart Street and bounded by Kirman Avenue to the east. This qualifies as a proposed historic district based on the fact that the Wells Avenue Neighborhood is a designated Conservation District as dedicated by the City of Reno in 2013. The Burke's Addition subdivision is a portion of the Wells Neighborhood.
- The properties at **700/710 E. Taylor Street, 701/707/715 Belli Drive, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805/807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive** represent contributing properties to a proposed NRHP historic district that includes the north side of Belli Drive between Kirman Avenue and Wilkinson Avenue, the east side of Kirman Avenue between Roberts Street on the north and Belli Drive on the south, the west side of Wilkinson Avenue between Belli Drive and Roberts Street, the portion of E. Taylor Street between Kirman Avenue and Wilkinson Avenue, and the entirety of Edelweiss Street, and Helvetia Street.
- The properties at **691/693 E. Taylor Street and 697/699 E. Taylor Street** are not individually eligible for listing on the *National Register of Historic Places*.
- The property at **825/835 Kirman Avenue** does not appear to be a contributing element of the historic district and the property does not appear to be individually eligible for the NRHP.
- The property at **825/827/829/831 Belli Drive** is not eligible for listing as an individual historic property and does not appear to be a contributing property under NRHP Criterion C to the Belli Addition Historic District.
- The property at **703 Balzar Circle** does not appear to be eligible for the NRHP.

Please review the attached data for concurrence on the historic eligibility status of the noted properties.

If you have any questions on the documents prepared, please contact Holly Moore of Diablo Green Consulting, Inc. at (925) 365-0730, or via e-mail at holly.moore@diablogreen.com. Thank you for your review and assistance.

Sincerely,



Almaira Garcia
Realty Specialist/Project Manager
United States Department of Veterans Affairs

Attachments

Attachment 1 – Site Location Maps

Appendix A – Cultural Resources Assessment, February 2015

Appendix B – Historical Analysis Completed for the Major Project at the VASNHCS, Prepared by Quimby McCoy Preservation Architecture, LLP

Appendix C – Architectural Resource Assessment, May 2015

Appendix D – Nevada SHPO Architectural Resource Assessment Form for Properties Affected by the Proposed Acquisition

Appendix E – Photographs of the Surrounding Direct and Indirect Area of Potential Effect (APE)

cc: Almaira Garcia, United States Department of Veterans Affairs; Almaira.Garcia@va.gov
Douglas D. Pulak, United States Department of Veterans Affairs; Douglas.Pulak@va.gov
Michael Rowley, United States Department of Veterans Affairs; Michael.Rowley@va.gov
Arlee Fisher, United States Department of Veterans Affairs; Arlee.Fisher@va.gov
Douglas Roaldson, United States Department of Veterans Affairs; Douglas.Roaldson@va.gov



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Holly Moore

From: Holly Moore <holly.moore@diablogreen.com>
Sent: Thursday, August 27, 2015 12:37 PM
To: 'Julie Earnstein'
Subject: Supplemental Data for SHPO UT2015-3811
Attachments: VA RENO - SUPPLEMENTAL SHPO LETTER 8-27-2015 (FINAL).pdf

Good afternoon

Per our discussion today, attached is supplemental information to respond to the letter issued for this proposed United States Department of Veterans Affairs (VA) land acquisition in Reno, Nevada. Please contact me if we can provide any further information.

Thank you for your consultation and assistance with this review.

Thank you,

Holly D. Moore | Diablo Green Consulting, Inc.
Principal
USEPA Environmental Professional
LEED Green Associate
Mobile Telephone (925) 336-6627
Office Telephone Direct (925) 365-0717
Office Telephone Main (925) 365-0730
Facsimile (925) 365-0729



Diablo Green Consulting Inc.
Electronic Mail holly.moore@diablogreen.com

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DEPARTMENT OF VETERANS AFFAIRS
Office of Construction & Facilities Management
Washington DC 20420

August 27, 2015

Ms. Rebecca Palmer
Nevada State Historic Preservation Office
901 S. Stewart Street, Suite 5004
Carson City, Nevada 89701-4285

Re: National Historic Preservation Act
Section 106 Consultation
Department of Veterans Affairs (VA)
Sierra Nevada Health Care System (VASNHCS)
SHPO UT2015-3811

Dear Ms. Palmer:

Please see the enclosed and below documentation, prepared by the U. S. Department of Veterans Affairs ("VA") cultural resource consultant Diablo Green Consulting, Inc. (Diablo Green). This information is being submitted in response to the Nevada State Historic Preservation Office (SHPO) letter dated July 1, 2015 (SHPO UT2015-3811), in addition to a subsequent telephone conference with Ms. Mara Thiessen Jones on July 15, 2015.

In response to the comments received from the Nevada State Historic Preservation Office (SHPO), please see the following:

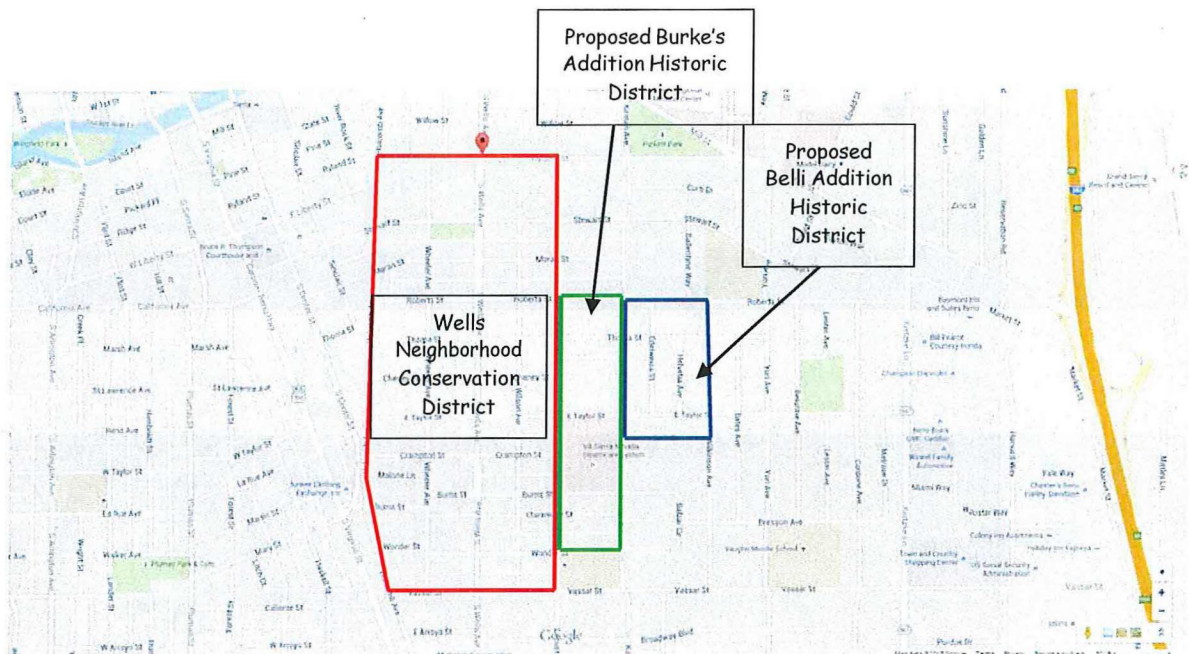
1. ARA District Forms need to be provided.

Historic district forms have been included for the proposed Belli and Burke's Historic Districts. Please refer to Appendix A.

2. Clarification needs to be provided regarding the meaning and relationship of the Conservation District to the proposed historic districts.

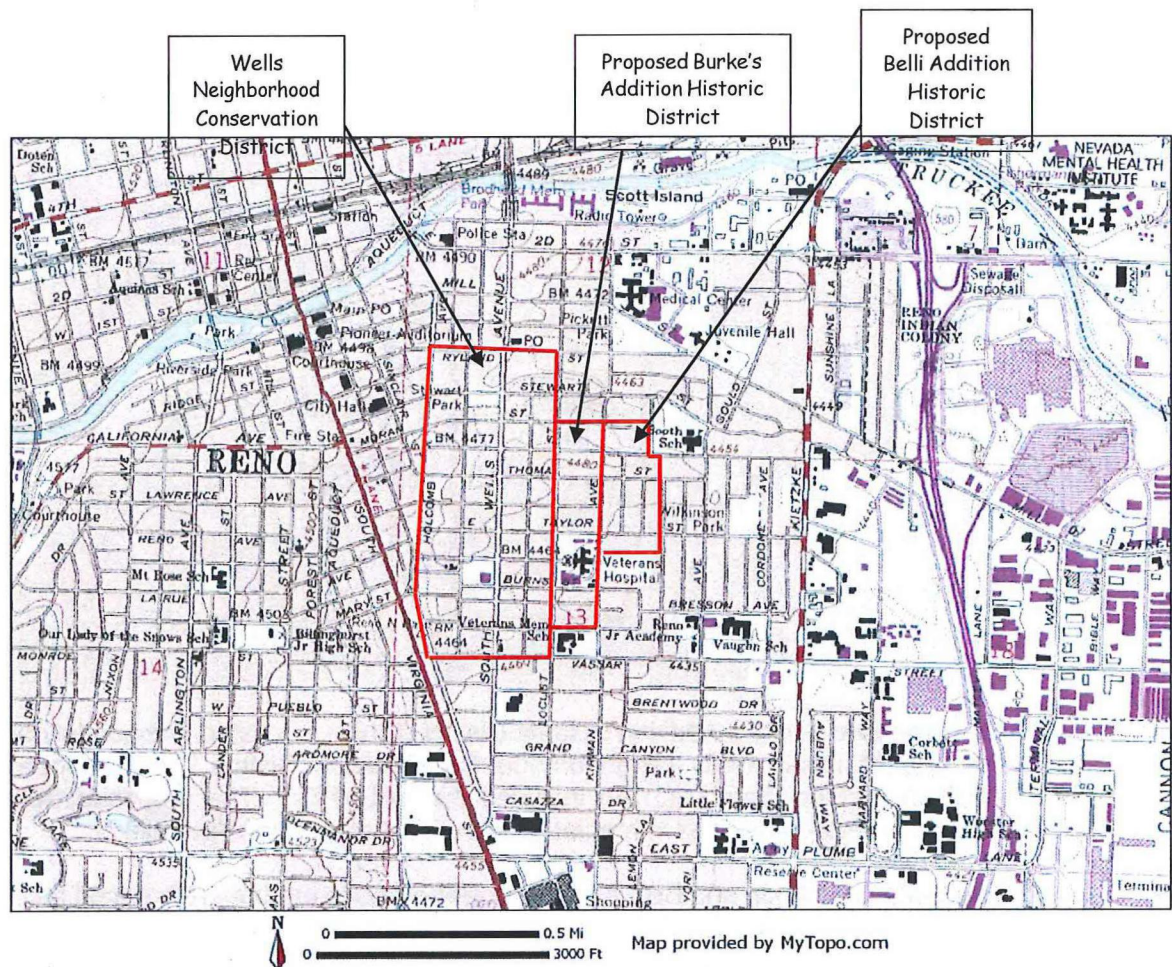
The Wells Avenue Neighborhood Conservation District was dedicated by the City of Reno in March 2013. The Wells Conservation District was designated from Ryland Street south to Vassar Street, and from Holcomb Avenue east to Locust Street. The district was designated to protect the historic value of the area and help guide future planning and development in that area. According to the City of Reno, the neighborhood contains some of the oldest homes in Reno south of the river, and has "many fine examples of Queen Anne Revival and Craftsman architecture as well as an association with numerous interesting former prominent Reno-ites."

Per the request of Ms. Mara Thiessen Jones on a telephone conference with Diablo Green on July 14, 2015, the following map is included to demonstrate the boundaries of the City of Reno Wells Neighborhood Conservation District and the proposed Burke's Addition and Belli Addition historic districts.



The proposed Burke's Addition Historic District (D189) is located immediately adjacent to the City of Reno Wells Neighborhood Conservation District. The proposed Burke's Addition Historic District (D189) includes the VASNHCS. The proposed Belli Addition Historic District (D190) lies immediately to the east of the Burke's Addition.

The Burke's Addition and Belli Addition neighborhoods are both referenced as "Additions" to the Wells Neighborhood. Per the data included below, the Wells Neighborhood Conservation District lies outside of the direct and indirect APE for the proposed property acquisition.



3. **Consistency needs to be introduced regarding the precise number of properties that were recorded and for which determinations of eligibility have been made by the VA and for which concurrence is sought.**
Please refer to the district forms included in Appendix A and the table and individual structure forms included in Appendix B.
4. **Resources need to be recorded on proper type ARA forms.**
The ancillary structure forms have been removed for the three detached garage buildings. Please see table included in Appendix B.
5. **The justification section of each ARA form needs to address that resource in relation to all four Significance Criteria, any relevant criteria considerations, as well as each of the seven aspects of integrity.**
Completed – Please see ARA forms in Appendix B.

PROPOSED UNDERTAKING

As demonstrated within the prior submittal in June 2015, the VA seeks to acquire land adjacent to the VASNHCS in Reno, Nevada, to improve parking and accessibility. Modifications to Kirman Avenue, abutting the hospital campus, have additionally been proposed.

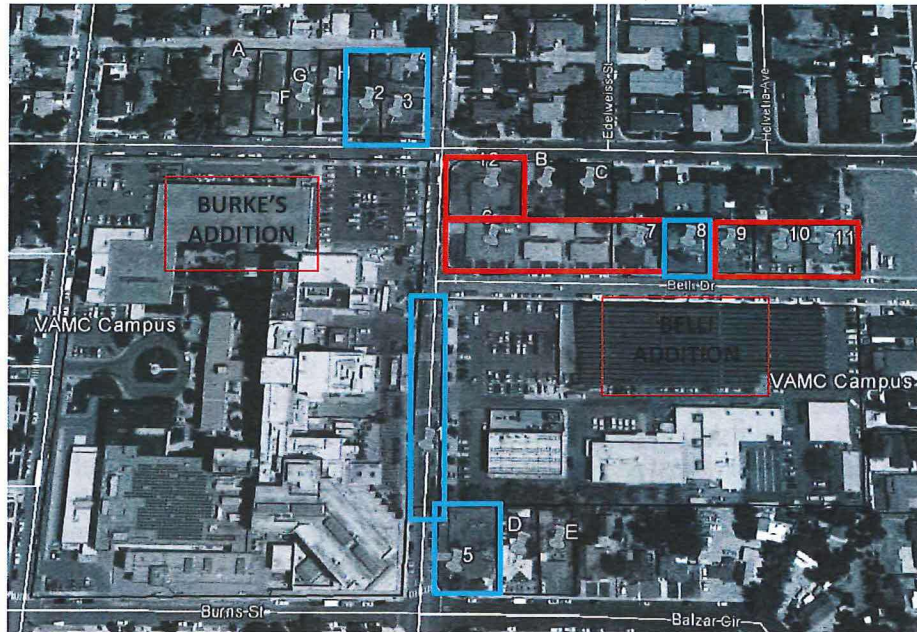
The VASNHCS has proposed to close one lane of Kirman Avenue; the street will remain open and traversable through the center of the hospital campus. The partial closure of Kirman Avenue is being considered in order to maintain safe pedestrian access to the VASNHCS.

The reduction of Kirman Avenue to one lane will have a visual impact to the adjacent area. There are several options to reduce from the current two to one lane; options are currently being considered. The VASNHCS has currently scheduled a public meeting for September 17, 2015, during which the facility will present to the city and residents options to reduce Kirman Avenue from two lanes to one. Currently the facility is assuming the city and residents will support that plan; however, all public and municipal input will be considered by the VASNHCS in the planning process.

Kirman Avenue, between E. Taylor and Burns Street, forms the eastern boundary of the proposed Burke's Addition Historic District. The road acts as a physical and cultural boundary for the district, but the road itself, other than its prism and providing through traffic, does not contain any other significant character defining historic features. As such, closing one-lane of traffic, providing safe drop-off locations, and traffic calming devices, does not pose an "adverse effect" to the historic district. It is the finding of the VASNHCS that the partial closure of Kirman Avenue will not have an adverse effect on historic properties if the prism and corridor of the street is maintained.

DIRECT AND INDIRECT AREA OF POTENTIAL EFFECTS (APE)

The Area of Potential Effect (APE) for *direct effects*, including archaeological and cultural resources, includes the areas of the direct ground disturbance plus temporary staging areas within the neighborhoods. It is presumed that staging areas for demolition and construction will include public city street right-of-ways and the properties themselves. Therefore, the APE for direct effects includes the home sites shown below [included on image below as numbers 1 (Kirman Avenue) through 12 (individual home sites)]. Sites outlined in BLUE are not eligible for listing on the *National Register of Historic Places* (NRHP) nor are they eligible as contributing resources to a (proposed) historic district. Sites outlined in RED are not individually eligible for listing on the NRHP, but would be considered contributing elements to a (proposed) historic district.



Direct Area of Potential Effect (properties proposed for acquisition)

The APE for *indirect effects* includes homes surrounding the eleven properties proposed for acquisition, which includes portions of the Burke's, Belli and Mountain View subdivisions surrounding the VASNHCS. The visual APE includes homes immediately surrounding those within the proposed acquisition parcels. Demolition of the homes on the lots may present a visual impact to those homes which lie adjacent to the properties proposed for acquisition.



Visual / Indirect Area of Potential Effect (APE)

Belli Addition – The immediately surrounding properties along Belli Drive and E. Taylor Street fall within the visual APE. As documented within the attached report (Appendix C), a pedestrian and windshield survey was carried out in the entirety of the Belli Addition. The results of that survey suggests that as a whole the subdivision retains very good integrity, particularly the continuity of architectural design, and represents an important period in the history of the City's suburban growth and development of multi-family housing. Like the Wells Neighborhood and Mountain View Subdivision, the creation of Belli Addition was somewhat speculative and construction was minimal during World War II. However, unlike the Wells Neighborhood and Mountain View Subdivision, most of the properties in the Belli Addition were rental units, perhaps geared towards the divorce and gaming industries, as well as the employees of the nearby Veterans Hospital.

Burke's Addition – The immediately surrounding properties along Kirman Avenue and E. Taylor Street fall within the visual APE. As documented within the attached report, the Burke's Addition, inclusive of 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street, has potential as a NRHP historic district, defined by Roberts Street to the north, Kirman Avenue to the east, Locust Street to the west, and Wonder Street to the South. This recommendation is also based upon the documentation provided by Ross-Hauer and Sigler in 2014 in their study of the Wells Neighborhood. A windshield survey of the nearby Wells Addition bears out the recommendation by Ross-Hauer and Sigler in that the Addition has a good representative mix of housing styles that reflect the potential historic district period of significance.

As discussed with Ms. Jones via telephone on July 14, 2015, the visual APE includes portions of the proposed Burke's Addition and Belli Addition Historic Districts. This assessment did not include evaluation and assessment of the surrounding buildings for individual listing on the NRHP. However, a pedestrian and windshield survey was carried out in the entirety of the Belli and Burke's Additions.

The results of that survey suggests that as a whole the Belli subdivision retains very good integrity, particularly the continuity of architectural design, and represents an important period in the history of the City's suburban growth and development of multifamily housing. The Wells Neighborhood, which includes Burke's Addition, has been determined potentially eligible for the NRHP with its period of significance beginning in 1904 and terminating in 1945. These bracketed years seem reasonable given that the majority of buildings in the Wells Neighborhood, including Burke's Addition, were built prior to the end of World War II. Later infill properties date to after World War II and a number them, including two in the direct project APE, were built as duplexes rather than single family properties.

The survey of architectural properties that will or may be affected as part of the eleven (11) property acquisition was conducted by Mr. Dana Supernowicz. Mr. Supernowicz meets the Secretary of the Interior's Professional Qualification Standards for Historic Architecture and Historic Preservation.

FINDINGS

None of the properties appear to be eligible for individual listing on the NRHP. Nine (9) of the evaluated properties appear to qualify as contributing resources to the proposed Belli Addition Historic District (B13803, B13804, B13806, B13807, B13808, B13809, B13812, B13813, & B13814).

- The **Belli Addition Historic District** appears to be eligible for listing in the National Register of Historic Places (NRHP) under Criterion C as an important example of masonry mid-Twentieth Century Ranch style architecture from 1940 through 1965. It should be acknowledged that only a portion of the homes within the district were evaluated as part of this assessment. No properties in the APE appear to be individually eligible for listing on the NRHP.
- The **Burke's Addition Historic District** appears to be eligible for listing in the National Register of Historic Places (NRHP) under Criterion C as an important example of masonry mid-Twentieth Century Ranch style architecture from 1904 through 1945. It should be acknowledged that only a portion of the homes within the district were evaluated as part of this assessment. No properties in the APE appear to be individually eligible for listing on the NRHP.
- Nine (9) properties appear to be contributing properties to the proposed Belli Addition Historic District, including **700-710 East Taylor Street (B13803)**, **701/707/715 Belli Drive (B13804)**, **735 Belli Drive (B13806)**, **765 Belli Drive (B13807)**, **801 Belli Drive (B13808)**, **805-807 Belli Drive (B13809)**, **845 Belli Drive (B13812)**, **865 Belli Drive (B13813)**, and **885 Belli Drive (B13814)**. This proposed NRHP historic district that includes the north side of Belli Drive between Kirman Avenue and Wilkinson Avenue, the east side of Kirman Avenue between Roberts Street on the north and Belli Drive on the south, the west side of Wilkinson Avenue between Belli Drive and Roberts Street, the portion of E. Taylor Street between Kirman Avenue and Wilkinson Avenue, and the entirety of Edelweiss Street, and Helvetia Street.
- The properties at **691/693 E. Taylor Street (B13801)**, **697/699 E. Taylor Street (B13802)**, **703 Balzar Circle (B13805)**, **825/827/829/831 Belli Drive (B13810)**, **825/835 Kirman Avenue (B13811)** are not individually eligible for listing on the NRHP and do not appear to be contributors to the Burke's or Belli Historic Districts.
- The **Wells Avenue Neighborhood/Wells Avenue Conservation District**, being located adjacent to the Burke's Addition and the VASNHCS campus, has a potential as an NRHP historic district. This qualifies as a proposed historic district based on the fact that the Wells Avenue Neighborhood is a designated Conservation District as dedicated by the City of Reno in 2013.
- The partial closure of Kirman Avenue has been considered in order to maintain safe pedestrian access to the VASNHCS. It is the finding of the VASNHCS that the partial closure of Kirman Avenue will not have an effect on historic properties if the prism and corridor of the street is maintained.

Please review the attached data for concurrence on the historic eligibility status of the noted properties in the direct APE and the historic districts within the visual/indirect APE.

POTENTIAL MITIGATION MEASURES FOR EFFECTS

Per the telephone conference with Ms. Jones on July 14, 2015, the VA has considered options for mitigation measures that may be considered as part of this project during the findings of effects phase of consultation with the Nevada SHPO. Potential mitigation measures, to be further addressed in later consultation with the Nevada SHPO as well as local consulting parties and historic/conservation agencies, may include the following:

1. An interpretive display placed within the hospital demonstrating the historic significance of the neighborhood(s) surrounding the VASNHCS, with special highlights on the architectural styles that contribute to the historic significance. This would serve as a demonstration for the local community of the historic value of the neighborhood architecture and the historic value of the VASNHCS to the development within the City of Reno.
2. The addition of a link from the VASNHCS web site to a site dedicated to the history of the surrounding neighborhood, including both written and photographic history of the surrounding area.
3. Inclusion of historic photographs of the surrounding neighborhoods within public spaces in the hospital honoring the heritage of the area.

The mitigation measures noted above are for consideration and discussion amongst the VA, SHPO and representative consulting parties. The precise mitigation for this undertaking will be discussed further with the SHPO and consulting parties as the Section 106 consultation process continues.

If you have any questions on the documents prepared, please contact Holly Moore of Diablo Green Consulting, Inc. at (925) 365-0730, or via e-mail at holly.moore@diablogreen.com. Thank you for your review and assistance.

Sincerely,



Almaira Garcia
Realty Specialist/Project Manager
United States Department of Veterans Affairs

Attachments

Appendix A – ARA District Forms
Appendix B – Summary of Properties Evaluated & ARA Individual Property Forms
Appendix C – Architectural Resource Assessment Study, Historic Resource Associates, Updated August 2015

cc: Almaira Garcia, United States Department of Veterans Affairs; Almaira.Garcia@va.gov
Douglas D. Pulak, United States Department of Veterans Affairs; Douglas.Pulak@va.gov
Michael Rowley, United States Department of Veterans Affairs; Michael.Rowley@va.gov
Arlee Fisher, United States Department of Veterans Affairs; Arlee.Fisher@va.gov
Douglas Roaldson, United States Department of Veterans Affairs;
Douglas.Roaldson@va.gov



DEPARTMENT OF VETERANS AFFAIRS
VA Sierra Nevada Health Care System
Ioannis A. Lougaris VA Medical Center

October 30, 2015

In Reply Refer to: 654/00

Ioannis A. Lougaris
VA Medical Center
975 Kirman Avenue
Reno, Nevada 89502-
2597
(775) 786-7200 or
(888) 838-6256

VA Sierra Foothills
Outpatient Clinic
11985 Heritage Oaks
Place
Auburn, California 95603
(530) 889-0872 or
(888) 227-5404

VA Carson Valley
Outpatient Clinic
1330 Waterloo Lane
Suite 101
Gardnerville, Nevada
89410
782-5265

VA Lahontan Valley
Outpatient Clinic
345 West A Street
Fallon, Nevada 89406
(775) 428-6161 or
(866) 504-0490

VA Winnemucca
Outreach Clinic
3298 Traders Way
Winnemucca, NV 89445
(775) 623-9575

VA Diamond View
Outpatient Clinic
110 Bella Way
Susanville, California
96130
(530) 251-4550 or
(877) 816-8572

Ms. Rebecca Palmer
Nevada State Historic Preservation Office
901 S. Stewart Street, Suite 5004
Carson City, Nevada 89701-4285

Re: National Historic Preservation Act
Section 106 Consultation
Department of Veterans Affairs (VA)
Sierra Nevada Health Care System (VASNHCS)
SHPO UT2015-3811

Dear Ms. Palmer:

The United States Department of Veterans Affairs (VA), in order to honor, serve and care for Veterans in Northern Nevada, is undertaking various infrastructure enhancements, property acquisitions, and construction and renovation projects at the VA Sierra Nevada Health Care System (VASNHCS) hospital at 975 Kirman Avenue in Reno, Washoe County, Nevada.

The enclosed is being submitted in response to the letter issued by the State of Nevada Department of Conservation and Natural Resources, State Historic Preservation Office (SHPO), dated September 14, 2015 (SHPO UT2015-3811).

In response to the comments received from the Nevada State Historic Preservation Office (SHPO), please reference the following:

- I. Area of Potential Effect (APE)
The Nevada SHPO concurs that the defined direct and indirect APE is adequate for the project.-----
11. Identification Effort for Historic Properties
Please reference the below table summarizing the responses to the comments received from the SHPO on September 14, 2015.

2.

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
D189	Burke's Addition Historic District	1917 (Platted)	Yes	C	N/A	The total non-contributing resources has been changed to 3.
D190	Belli Addition Historic District	1946 (platted)	Yes	C	N/A	Ten resources were evaluated; one was determined ineligible for listing as an individual property or as a contributing property (B13810). The total contributing resources has been updated to 9. Further, the accessory structure references have been corrected.
B13801	691/693 E. Taylor Street	1953	No	N/A	No	The eligibility with reference to all four (4) NRHP significance criteria (A, B, C & D) and the seven (7) aspects of integrity has been addressed for this structure on the attached ARA form. The structure falls outside of the period of significance for the District.
B13802	697/699 E. Taylor Street	1954	No	N/A	No	The eligibility with reference to all four (4)

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
						NRHP significance criteria (A, B, C & D) and the seven (7) aspects of integrity has been addressed for this structure on the attached ARA form. The structure falls outside of the period of significance for the District.
813803	700/710 E. Taylor Street	1953	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
813804	701/707/715 Belli Drive	1952	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
813805	703 Salzar Circle	1940	No	N/A	N/A	Section 12 of the ARA form shows this property as Not

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
						Eligible for listing on the NRHP. The ARA form discusses the eligibility of this structure under all four NRHP eligibility criteria and the 7 aspects of integrity.
813806	735 Belli Drive	1952	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
813807	765 Belli Drive	1952	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
B13808	801 Belli Drive	1954	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is

5.

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
						eligible as a contributor to the District but not as an individual structure.
B13809	805/807 Belli Drive	1958	No	NIA	Yes.	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
B13810	825/827/829/831 Belli Drive	1972	No	NIA	No	SHPO concurs with the determination on this property (not eligible for listing)
B13811	825/835 Kirman Avenue	1939	No	NIA	No	Section 12 of the ARA form shows this property as Not Eligible for listing on the NRHP. The eligibility with reference to all four (4) NRHP significance criteria (A, B, C & D) and the seven (7) aspects of integrity has been addressed for this structure on the attached ARA form.
B13812	845 Belli Drive	1958	No	N/A	Yes	ARA form discusses the eligibility under

6.

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
						all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
B13813	865 Belli Drive	1958	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
B13814	885 Belli Drive	1946	No	N/A	Yes	ARA form discusses the eligibility under all four NRHP criteria (A, B, C & D) and the 7 aspects of integrity. Structure is eligible as a contributor to the District but not as an individual structure.
N/A	Kirman Avenue (lane reduction)	N/A	No	N/A	No	The land reduction of Kirman Avenue will result in No Adverse Effect to the historic district(s), as long as the reduction of

7.

SHPO Resource	Name/Address	Year Built	Recommended NRHP Eligible?	Eligibility Criteria	Contributing to District?	Comments
						Kirman Avenue maintains the historic prism of the street providing one lane of traffic.

Structure eligibility justifications have been amended to include discussion on the Secretary of the Interior's significance criteria (A, B, C and D) for assessing individual eligibility for listing in the *National Register of Historic Places* (NRHP) and the seven aspects of integrity are addressed for each resource. Please see the attached, updated, Architectural Resource Assessment (ARA) forms under Appendix A.

III. Lane Reduction of Kirman Avenue

The VASNHCS has proposed lane reduction of Kirman Avenue between E. Taylor Street and Salzar Circle.

The lane reduction of Kirman Avenue will result in No Adverse Effect to the historic district(s) in the APE, as long as Kirman Avenue maintains the route through the existing neighborhood. The reduction has been presented to the public within a public meeting (September 2015), and will be coordinated through the City of Reno. Comments received from the public were favorable. This action will alleviate traffic in the streets immediately surrounding the hospital and ensure safer access to the VASNHCS for area Veterans utilizing the hospital for care.

- IV. **Per the Nevada SHPO letter dated September 14, 2015: "It appears that only properties within the direct APE have been surveyed. Because properties within the indirect (visual) APE have the potential to be affected by the proposed undertaking, they also need to be" individually identified and evaluated for NRHP eligibility before a determination of effect can be made. Architectural resources within the indirect APE, once identified, may remain unevaluated and be treated as eligible under all four of the Secretary's criteria for the purposes of the undertaking."**

Per the Section 106 regulations (36 CFR §800.4, *Identification of Historic Properties*) and for the purposes of this undertaking, the remaining resources within the APE will remain unevaluated and treated as eligible resources under all four of the Secretary's criteria for listing on the NRHP.

Per the National Park Service (NPS), the *National Register of Historic Places* (NRHP) criteria for evaluation focus on the quality of significance in American history, architecture, archeology, engineering, and culture, which is present in

8.

districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of significant persons in or past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded or may be likely to yield, information important in history or prehistory.

As previously identified and concurred by the Nevada SHPO in September 2015, the APE for *indirect effects* (visual) includes homes surrounding the eleven properties proposed for acquisition, which includes portions of the Burke's, Belli and Mountain View subdivisions surrounding the VASNHCS. The visual APE includes homes immediately surrounding those within the proposed acquisition parcels. Demolition of the homes on the proposed lots for acquisition may present a visual impact to those homes which lie adjacent to the properties proposed for modifications.

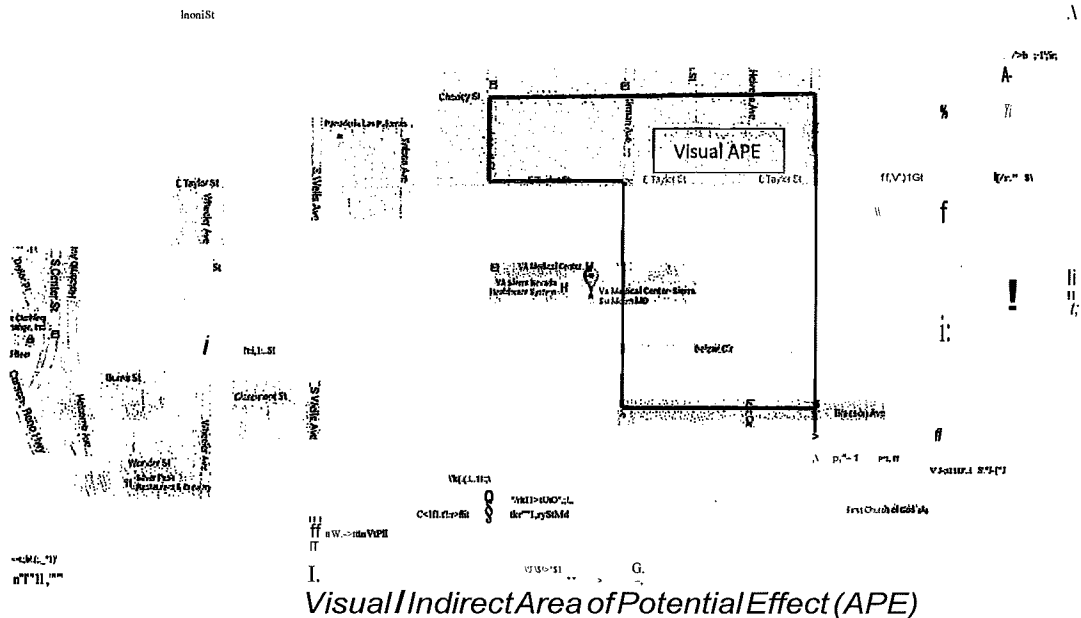
Surrounding resources include homes within the visual APE. These include the following:

Homes bounded by Cheney Street to the north, Kirman Avenue to the east, E. Taylor Street to the south and Locust Street to the west (within the Burkes Addition);

Homes north of E. Taylor Street and west of Wilkinson Avenue on Kirman Avenue, Edelweiss Street, Helvetia Avenue and Wilkinson Avenue, south of approximately 780 Kirman Avenue/780 Edelweiss Street/766 Helvetia Avenue/780 Wilkinson Avenue (within the Belli Addition);

Homes bounded by East Taylor Street to the north, Wilkinson Avenue to the east, Salzar Circle to the south and Kirman Avenue to the west.

9.



Visual Indirect Area of Potential Effect (APE)

CLOSING

For questions on this submittal, please direct your inquiries to Ms. Arlee Fisher at the VASNHCS. Please copy Ms. Fisher on all responses to this submittal via the following:

Ms. Arlee Fisher
Facility Planner
VA Sierra Nevada Health Care System
975 Kirman Avenue (001)
Reno, Nevada 89502-2597
Office Telephone 775.789.6632
Mobile Telephone 775.722.4273

We appreciate your time and review of the enclosed documentation. Thank you for your review and assistance in the Section 106 consultation process.

Sincerely,

Lisa Howard
Director
VA Sierra Nevada Health Care System

Appendix D

Cultural and Historic Resource Assessments



PRELIMINARY CULTURAL RESOURCES STUDY OF AREAS ADJACENT THE VA SIERRA NEVADA HEALTH CARE SYSTEM, RENO, NEVADA

Prepared for:

Diablo Green Consulting, Inc.
415 Boulder Court, Suite 300
Pleasanton, California 94566

Prepared by:

**Digital Technologies in
Archaeological Consulting LLC**
P.O. Box 1846
Sparks, Nevada 89432
425.293.3925

Written by:

Chris Webster, M.S. RPA
Principal Investigator

February 2015

Preliminary Cultural Resources Study of Areas Adjacent the VA Sierra Nevada Health Care System, Reno, Nevada

By:

Chris Webster

February 2015 Final Report

Submitted To:

Holly Moore

Diablo Green Consulting, Inc.

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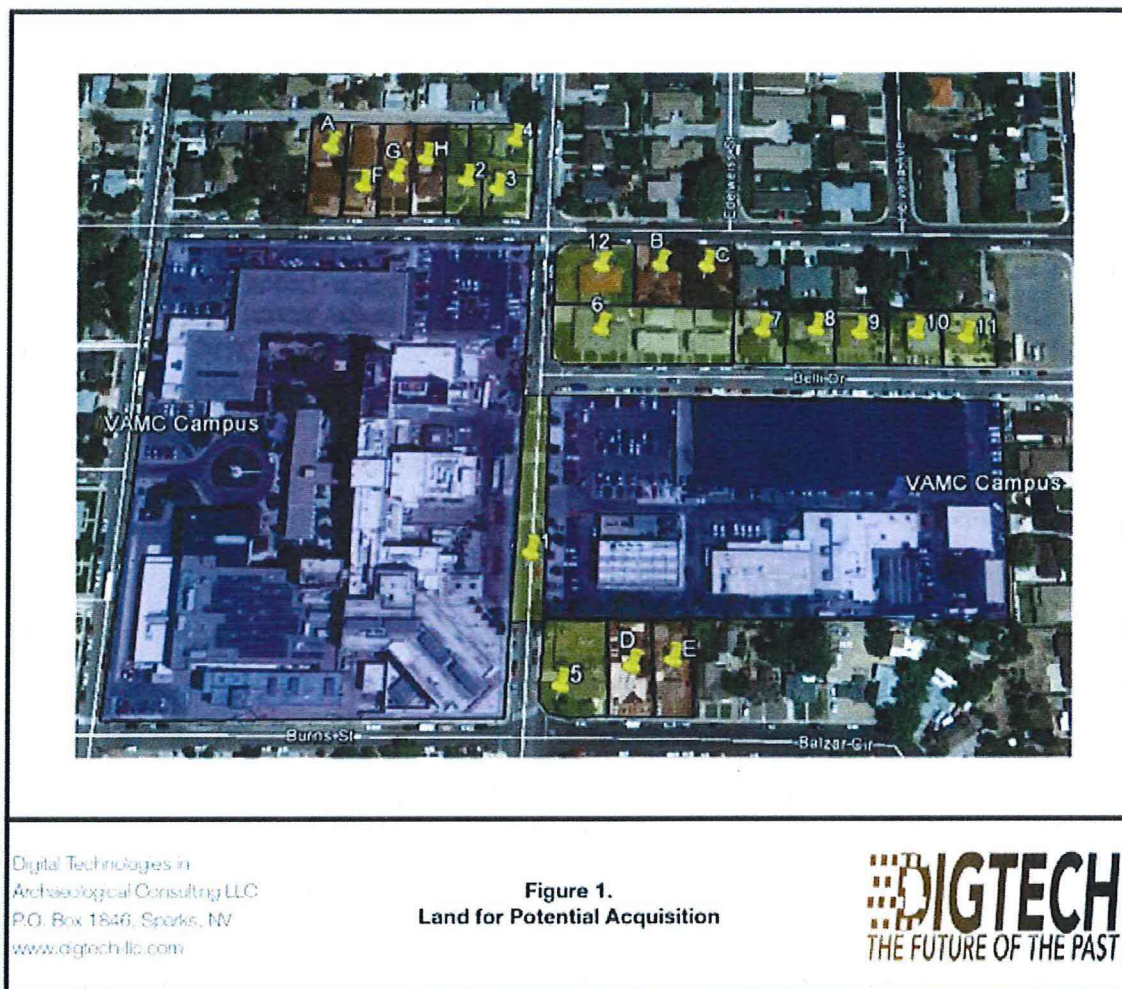
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INTRODUCTION

Digital Technologies in Archaeological Consulting LLC (DIGTECH) was asked to complete a preliminary study of areas adjacent the VA Sierra Nevada Health Care System campus in Reno, Nevada (Figure 1). The purpose of this report is to determine the likelihood of the VA's proposed expansion on the properties in question. This report also identifies appropriate agencies that would be involved in such an action and proposed courses of action.



Dates of Investigation

On February 1, 2015 Chris Webster (DIGTECH Principal Investigator) and Corri Jimenez (independent architectural historian) visited the study area and examined the properties listed in Table 1 and identified on Figure 1 as the numbered properties (numbered 1 through 12). During the field investigation, Webster and Jimenez visually assessed the properties and took photographs of each to aid in the research to follow.

Project Location

The study area is located around the VA Sierra Nevada Health System campus in Reno, Nevada. Specifically, Kirman Avenue and properties along Balzar Circle, Belli Drive, and East Taylor Street (See Figure 1 and Table 1)

Table 1: VA Proposed Phase 1 Locations for Acquisition

Identifier (Figure 1)	Address	Type	Owner	Lot Number (APN)
1	Kirman Ave - Both Sides VA	-	CITY	-
2	691/693 E. Taylor	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger; 2651 E. Lake Ridge Shores, Reno, NV 89509)	013-124-14
3	697/699 E. Taylor	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger; 2651 E. Lake Ridge Shores, Reno, NV 89509)	013-124-13
4	825/835 Kirman	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger; 2651 E. Lake Ridge Shores, Reno, NV 89509)	013-124-12
5	703 Balzar	Single Fam	Michael C. LaGrange (PO Box 12452, Reno, NV 89510)	013-182-22
6	701-735 Belli	Apartments	Rita M. Potts (4380 Spring Drive, Reno, NV 89502)	013-181-16
7	765 Belli	Apt/Duplex	Mar-John Properties	013-181-15
8	829 Belli	Apt Res	Beck	013-181-14
9	845 Belli	Apartments	Brandon Burns	013-181-13
10	865 Belli	Apt Res	Schmitz	013-181-12
11	885 Belli	Single Fam	Woods (885 Belli Dr)	013-181-11
12	700-710 E. Taylor	Duplex	Belli Family Trust (2450 Warrior Lane, Reno, NV 89523)	013-181-01

PERSONNEL AND EQUIPMENT

Chris Webster, President and Principal Investigator at DIGTECH, conducted the preliminary records search for the study area and identified the necessary experts to consult with. Mr. Webster also assembled this report.

Corri Jimenez, an independent Architectural Historian, compiled the historic context and was responsible for much of the recommendations section.

All field data were collected on an Apple iPad using forms created by DIGTECH LLC.

LITERATURE SEARCH

DIGTECH conducted a literature search through the Nevada State Historic Preservation Office Cultural Resource Information System (NVCRIS) online database, as well as at the Nevada BLM Carson City District Office. Existing contexts related to the project area and listings of properties on the National Register of Historic Places and the Nevada State Register were also consulted. A search of historical General Land Office (GLO) maps, U.S. Geological Survey (USGS) maps, and other archival resources were consulted as necessary.

PROJECT AREA HISTORIC CONTEXT

The study area has a broad historic context that includes two platted additions, the Burke's Addition and the Belli Addition, as well as a subdivision known as the Mountain View Subdivision. The historic context below was part of a University of Nevada, Reno, "Historic Preservation Survey and Planning" written in the Fall of 2014 by students. Additional research is needed for the VA's study area for the Belli Addition and the Mountain View Subdivision. See Table 2 for information on which properties are in which addition.

BURKE'S ADDITION

Burke's Addition (see Figure 2) is a 34-block subdivision in southeastern Reno platted on July 1, 1907, and is named for local developer, Charles H. Burke. Burke's home at 36 Stewart Street is listed on the National Register of Historic Places (NRHP) (NR# 84002077), along with a second property, the Burke-Berryman House (NR# 04000884) located in his addition at 418 Cheney Street, Reno.

Charles H. Burke (1865-1944) emigrated from Liverpool, England to Reno via Los Angeles around 1890 (Ossa 2004). Initially, he worked as a farrier and blacksmith in downtown Reno and is listed under that profession in the 1900-1904 Polk's City Directories (Ossa 2004). His first real estate transaction occurred as early as 1898 when he purchased property from Real Estate and Insurance Agent C.S. Martin (Nevada Education Association 1969, Ossa 2004). Between 1898 and 1911, Burke was involved in over one hundred real estate transactions as a land grantor and grantee (Ossa 2004).

Burke's Addition was bounded by Cheney and Ryland Streets on the north, Wells Avenue and Locust Street on the west, Vassar Street on the south, and Kirman Street on the east. The subdivision was divided into parcels, which could be purchased for \$300.00. Burke donated several tracts of the addition to the City of Reno. The donated areas included an area southwest of the parcel meant for the

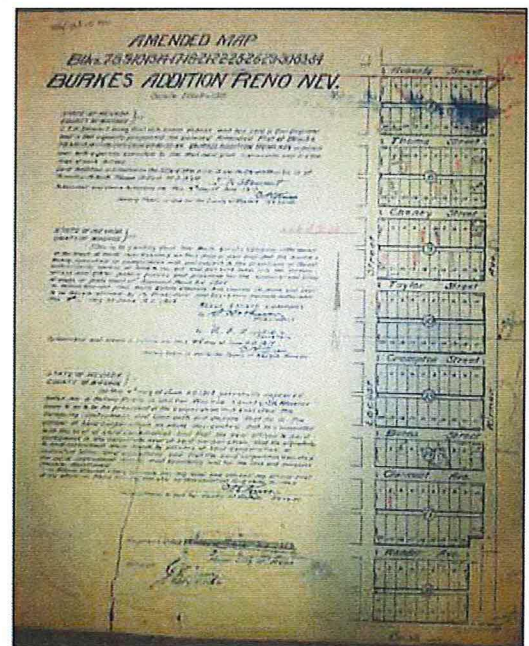


Figure 2: Burke's Addition plat.
Located at the Nevada Historical Society, Reno.

construction of a schoolhouse, (present location of the City Hall complex) and, a corner lot for a firehouse (current location of the 1965 Modern style Washoe County Library at 301 S. Center Street). The library is a National Register-listed property (NR# 13000014) (Kovel and Lawrence-Dietz 1984). Burke also donated an additional centrally located parcel for the city to use as a park (current location of the Reno Veteran's Administration Hospital).

Enjoying steady growth, Burke's Addition saw many modest homes built in the 1930s into the 1960s. During World War II there was a major lapse in new construction as there were no new sewer or electrical lines or subdivisions being developed; therefore, the remaining vacant lots in the area were filled with homes as utilities were already installed. Much of this early infill was constructed by Edd Lee. Construction supplies were in short supply during the war so Lee built tiny 700-square-foot homes with no basements (Schuster, personal communication 2014).

It is reputed that Burke designed and built many of the homes in the subdivision. He was best known for his Queen Anne style homes, the style of both of his previously mentioned NRHP-listed buildings.

MOUNTAIN VIEW SUBDIVISION

The Mountain View Subdivision was platted on September 10, 1944. The subdivision is bordered by Balzar Drive, which is circular, Kirman Avenue to the west, and Boyle Circle that is centered in the middle.

Additional research is needed to understand this subdivision design and its significance to the City of Reno.

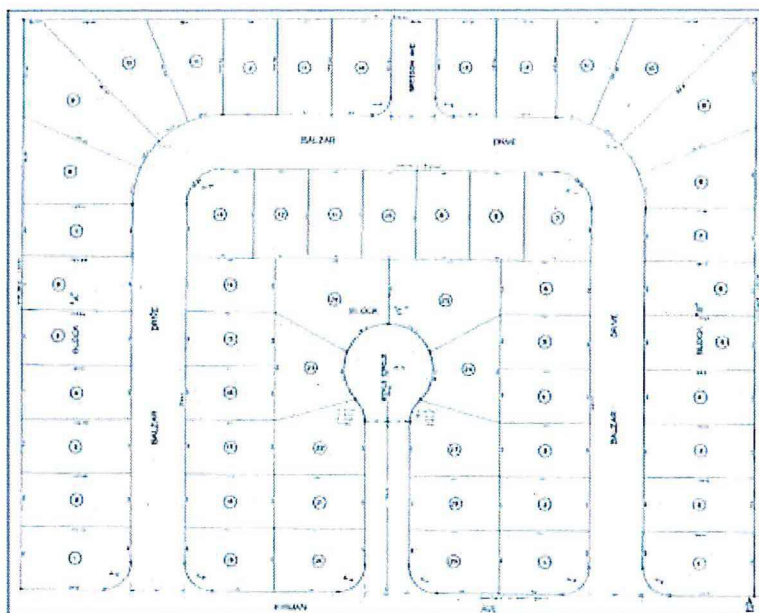


Figure 3: Mountain View Subdivision (Source: Washoe County Assessor's online files).

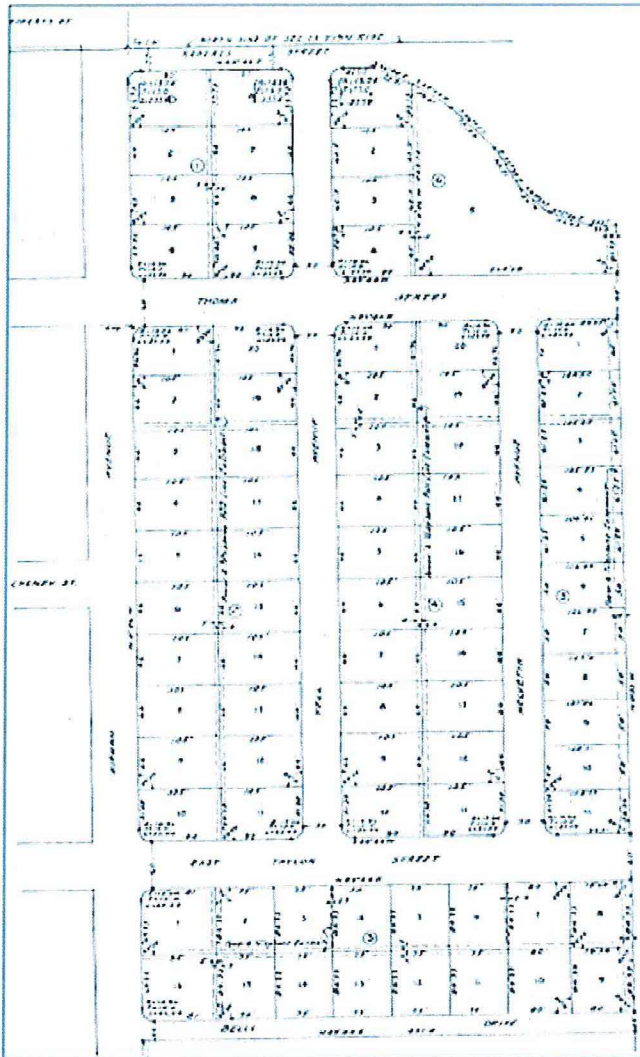


Figure 4: Belli Addition (Source: Washoe County Assessor's online files).

BELLI ADDITION

The Belli Addition was platted on September 9, 1946 by Mario Belli, Erminia E. Belli, and Mary Belli, and is parallel to the Burke's Addition. The addition was bordered to the north by Roberts Street, west by Kirman Avenue, south by Belli Drive, and included the eastern parcels on Helvetia Avenue. The boom era of the neighborhood's construction was post-World War II and one of the most prolific builders of the neighborhood was Eugene Belli. Belli Avenue is named after him and his family who developed the City of Reno addition. According to Barrie Schuster, a local resident and historian in the neighborhood, Belli himself lives locally in the area.

Additional research is needed in this addition to understand this study area as well as if any 20th century Belli-constructed resources are located within the area as well as on Belli Drive.

DIVORCE INDUSTRY

Since 1906, Reno's economy relied on the divorce trade (Harmon 1999). Visibly, the addition pragmatically displays on a landscape-level the divorce industry. The industry peaked in May 1931 when the divorce residency was shortened from three months to just six weeks, making Reno a "divorce mecca" (Brean 2014; Harmon 2014). During the boom, new apartment buildings were spurred and

constructions of additions were widespread. Construction in the 1930s included wings and second stories with private additions, as well as adjacent cottages and garage conversions (Harmon 2014). Temporary housing was constructed off existing alleys and is visible as small homes and converted garages in the "Burke's Addition". These represent small add-on structures with private mailing addresses. The "migratory divorce trade" had its heyday from 1931 to 1970, with more than 325,000 people coming to the Silver State for a divorce. This period also records 1,754,162 marriages in Nevada (Brean 2014).

RENO TRACTION COMPANY

In order to bring residents to his Burke's Addition in the early development before automobiles, Charles Burke paid to extend the electric trolley line from downtown Reno to the corner of Cheney

and Wells. The addition of an electric line to the addition made Burke's Addition much more accessible to the public as well as desirable for development.

Samuel Wheeler, developer of the adjacent Wells Addition (platted in 1907), contributed to the attraction and ease of life in Burke's Addition by bringing public transportation into the area. In 1909, Wheeler acquired the franchise for a trolley line traveling down Wells Avenue (to promote his Wells Addition). Reno Traction Company, purveyor of most of the trolley services in Reno, arranged to take over and began construction of the line in 1909, providing residents of the Wells and Burke's Additions easy access to downtown Reno (Powell 2010). Many of the city's merchants and middle class could not afford to live outside of the downtown area (Powell 2010). The new line extended the existing track at Virginia Street and California Avenue east along Moran Street, and then south on Wells Avenue (Powell 2010). The Reno Traction Company was in service until 1927 (Barber 2014). Additional information is needed to understand if other transportation replaced the line, supporting development of the Belli Addition and Mountain View Subdivision.

NEVADA VETERANS ADMINISTRATION (VA) HOSPITAL

In 1921, the first U.S. Veterans Bureau office opened locally in Reno on 1st Street at the site formerly occupied by the Pioneer Title Company (Nevada Veteran's Journal 1964). Within a few years, it grew significantly to better serve increased numbers of veterans' needs with the influx of World War I veterans. In 1924, the Adjusted Compensation Act was passed in Congress, giving veterans more rights and benefits (Veterans Administration 2014:9). Over the next ten years, additional veterans legislation was enacted, creating more services as well as demand for better facilities.

As early as 1926, Reno residents had begun mounting a campaign to convince the federal government to build a veterans hospital in the area (Lougaris 1965). However, it was not until Ioannis A. Lougaris, an elected official within the Reno chapter of the American Legion, took control of the campaign that real progress was made (Nevada Veteran's Journal 1964). The U.S. Veterans Administration was not easily convinced to build a hospital, arguing that because Nevada was a small, sparsely populated state, it was not entitled to have a hospital. Lougaris was able to change their minds, citing statistics of 25 veterans a month being sent to the California coastal VA hospital for treatment, far away from their family and resources (Lougaris 1965). Lougaris was extremely persistent and convincing, traveling from Reno to Washington D.C. to coordinate the hospital campaign 20 times from 1934 to 1939 (Lougaris 1965). In September 1935, President Roosevelt approved plans for a small, rudimentary, 25-bed hospital to be built for an estimated cost of \$100,000 (Lougaris 1965).

To site the original hospital, the City of Reno donated two city blocks of land originally slated for use as a baseball park in the Burke's Addition neighborhood. Referred to as the "ball park" or the "Crampton Street" park (listed as blocks 10 and 13), it was planned but never built (Lougaris 1965). Since there was already infrastructure, including sidewalks, sewer connections, water, gas, and electricity, the site was favored for siting of the hospital (Lougaris 1965). The site's close proximity by car to the Southern and Western Pacific railroads, and the two main highways (Lincoln and Victory), made it an attractive location for a hospital (Lougaris 1965).

In order to deed this parcel of land to the U.S. Veterans Administration, the Nevada State legislature passed a special unlisted act giving Reno city officials authority to transfer the land to the federal government at no cost (Lougaris 1965). Construction of the hospital provided jobs for skilled workers and for medical staff after opening. A series of improvements to Burke's Addition made the area more conducive to hospital traffic while encouraging future development of the neighborhood. Immediately after the location was finalized, a city referendum was passed to improve the roads around the hospital. Roads were paved with asphalt, concrete curbs were added, and gutters were installed. These road improvements benefited the entire neighborhood, although were chiefly intended to provide better transportation to and from the hospital (Lougaris 1965). The main VA Hospital opened on June 1, 1939, but plans were already underway to expand the hospital, creating a much larger and more comprehensive facility.

Lougaris again acted as the point man in the campaign to expand the hospital and construct a 1945 addition. This process took until mid-1945 to be approved, and after rapid construction, Building 2 opened in 1947 (Lougaris 1965). The patient capacity of both hospital buildings reached 125 beds, but because of the large numbers of World War II veterans, full capacity was quickly reached. Further expansions occurred in 1956, 1960, and 1962 to make a total of 202 beds available (Nevada Veteran's Journal 1964). Additional expansions have taken place since then, with the current hospital consisting of more than 16 buildings and occupying the original parcel of land. The latest building was constructed in 2014. More research needs to be done in order to determine the specifics of the post-1947 expansion of the hospital and its surrounding neighborhood.

IDENTIFICATION OF HISTORIC PROPERTIES

Eleven parcels are located in the project study area, and the majority of the parcels have either a duplex, triplex, or multi-family residence; only two parcels have single-family residences. In total, the study area consists of approximately 90 family homes. The physical Post Office address for these properties do not match the Washoe County Assessor's information. More study is needed to understand why there are so many inconsistencies. See Figure 5 and Table 2 for more information on the analysis of the study area.

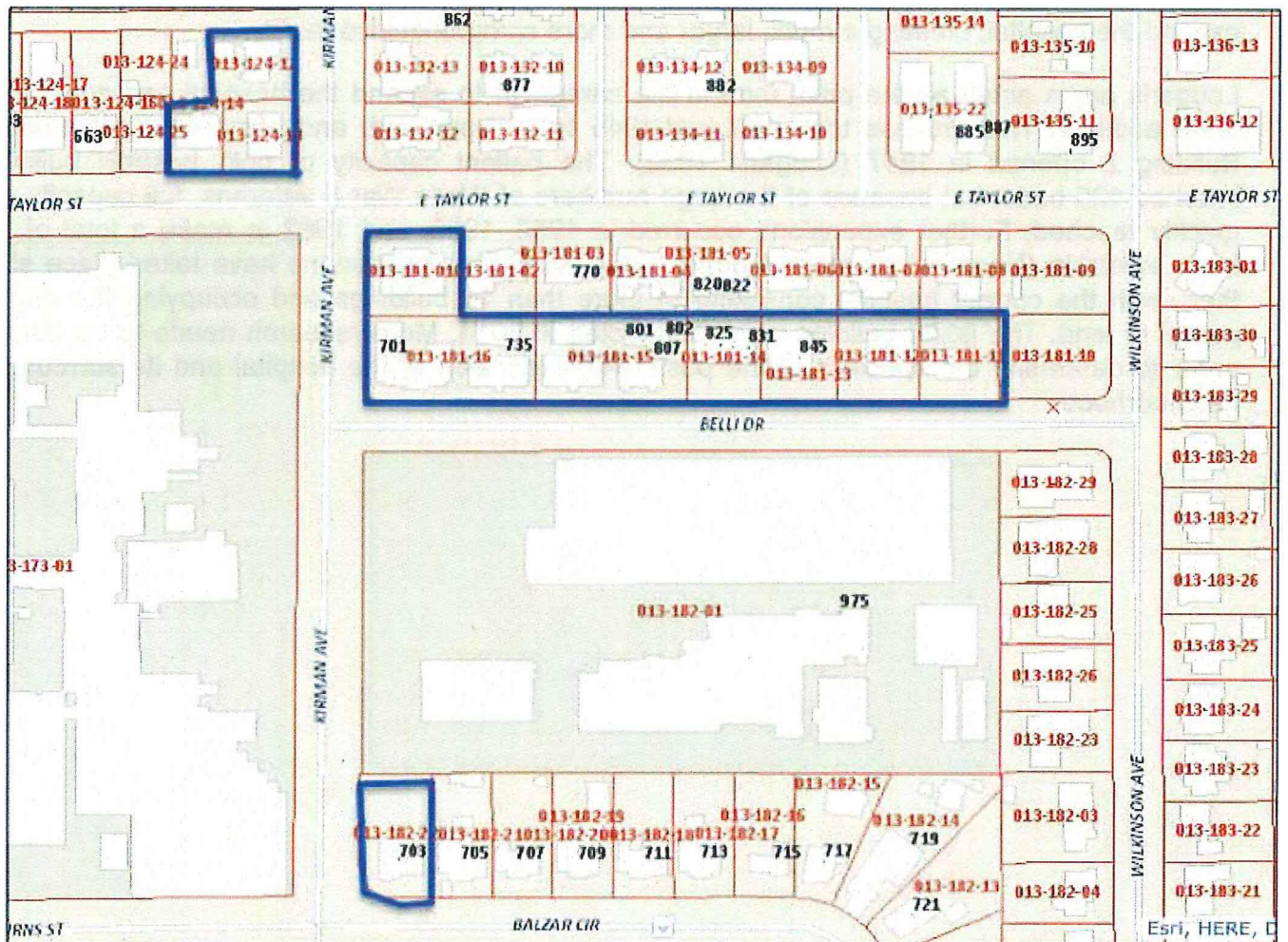


Figure 5: Project Area. Outlined blue polygons are selected parcels within the scope. (Source: Washoe County Assessor's map).

Study Area Parcels

691-693 E. Taylor Avenue (APN 013-124-14) and **697-699 E. Taylor Avenue** (APN 013-124-13) are a pair of Minimal Traditional duplexes that were constructed in 1953-54, as single-story residences with a hipped roof and cantilever awnings over doorsteps. Both duplexes are in the

vernacular style with minimal details, set on concrete pier foundations with asbestos siding. A driveway separates the two buildings and is character-defining to garden-style apartments with a shared landscape. Of the two duplexes, 691-693 E. Taylor Avenue has more architectural integrity, which includes large aluminum picture windows. 697-699 E. Taylor Avenue has been recently altered which includes replacement of its original windows.

700-710 E. Taylor Avenue (APN 013-181-01) is a single story, Ranch-style brick duplex at the corner of Kirman Avenue and E. Taylor Street. Built in 1953, the duplex is set on a concrete foundation and has a shared center driveway. The building recently has been altered, therefore, doesn't appear to have integrity, which includes replacement of the original aluminum windows and roll-up garage doors; the roof is a corrugated clay tile and appears to be new as well.

825-835 Kirman Avenue (APN 013-124-12) is a single story Minimal Traditional duplex, built in 1939, that was two residences that were combined into one single-family residence. The wood-framed buildings are set on a concrete pier foundation and have gabled porches on both of the entrances. 825 Kirman Avenue faces south on to a side yard and does not face on to Kirman Avenue whereas 835 Kirman Avenue faces the street; this orientation detail is unique to this building and is character-defining. At a glance, the building appears to retain its integrity.

703 Balzar Circle (APN 013-182-22) is a single-family, Minimal Traditional house, built in 1940, and is a part of the Mountain View Subdivision. The building is a wood-framed, L-shaped house set on a concrete pier foundation. A driveway is located on the side, facing out on to Kirman Avenue. The building appears to retain its integrity.

701-735 Belli Drive, a Ranch-style triplex, and **735 Belli Drive**, a Modern triplex (013-181-16) share the same parcel and were built in 1955; however, they represent two lots in the original plat map. 701 Belli Drive is a single-story, brick, L-shaped triplex with a low gable roof and two double, single-car, garages that face Kirman Avenue. 735 Belli Drive is two stories high and has a military feel to it as a multi-family residence. A large, two-story, garage with a residence is located behind 735 Belli Drive and set on an utility corridor that may have been an alley. 735 Belli Drive is a twin to **765 Belli Drive**, built in 1954 as a Modern two-story triplex made of the same materials and has a garage located in the rear along a utility corridor. 765 Belli Drive shares a parcel (APN 013-181-15) with two other Ranch-style buildings and includes **779-801 Belli Drive**, a single-story duplex, and **802-807 Belli Drive**, a garage with an apartment on the first floor as well as a second floor, set behind 802-807 Belli Drive. These resources on Belli Drive have a high integrity as well as an interesting plan and setting; more research is needed to know more about the designer of these buildings as well as if they have context to the Divorce Industry or the VA hospital.

825-831 Belli Drive (APN 013-181-14) is a Modern two-story triplex that was built in 1972, and because it is less than 50 years old, it is considered non-historic for the purpose of NHPA Section 106 compliance.

845 Belli Drive (APN 013-181-13) and **865 Belli Drive** (APN 013-181-12) are twin two-story, Modern brick buildings that face each other rather than the street, and are separated by a lawn area. The buildings, built in 1958, are multi-family homes with two apartments on the first floor and two on the second. The two buildings are set on a full concrete foundation with metal casement basement windows; the windows on the rest of the apartments also appear to be steel casement.

An iron balcony details the front, and, the roof on both buildings are flat. A wood shed is located in the center of the communal space. Both buildings appear to have high integrity, and because of their interesting design as an orientation to each other as single-family apartment houses. Since no other type apartment houses are in the vicinity, additional research would be valuable as to why it was built.

885 Belli Drive (APN 013-181-11) is a single-family, wood-framed Minimal Traditional house with wood clapboard siding, built in 1946. The front door has been replaced with a new door, and the windows appear to be vinyl. A one-car garage faces out to the street. The house has some integrity but it is not the best example of a Minimal Traditional house.

Table 2: Resource Identification and Eligibility Recommendation

Physical Address	Lot Number (APN)	Type	Style	Build Date	Addition	Historic	Potentially Eligible?
691/693 E. Taylor	013-124-14	Duplex	Minimal Traditional	1953	Burke's	Yes	Yes
697/699 E. Taylor	013-124-13	Duplex	Minimal Traditional	1954	Burke's	Yes	No
700-710 E. Taylor	013-181-01	Duplex	Ranch	1953	Burke's	Yes	No
825/835 Kirman	013-124-12	Duplex	Minimal Traditional	1939	Burke's	Yes	Yes
703 Balzar	013-182-22	Single-Family	Minimal Traditional	1940	Mountain View	Yes	Yes
701-735 Belli	013-181-16	Triplex	Ranch / Modern	1955	Belli	Yes	Yes
765 Belli	013-181-15	Triplex	Ranch / Modern	1954	Belli	Yes	Yes
825-831 Belli Drive	013-181-14	Triplex	Modern	1972	Belli	No	No
845 Belli	013-181-13	Multi-Family	Modern	1958	Belli	Yes	Yes
865 Belli	013-181-12	Multi-Family	Modern	1958	Belli	Yes	Yes
885 Belli	013-181-11	Single-Family	Minimal Traditional	1946	Belli	Yes	Yes

NATIONAL REGISTER STANDARDS

Eligibility is evaluated using the National Register of Historic Places (NRHP) (36 CFR 60.4) and is determined by both the property's historic significance and integrity. Both the significance and integrity assist in defining an historic district, which represents a concentration of buildings that together convey a visual sense of an historic arrangement or plan.

Historic Significance is considered the historic context of patterns and trends in history by which a specific occurrence, property, or site is understood and has meaning within history or prehistory. The significance of an historic property can be judged and explained only when it is evaluated within its historic context.

In order to decide whether a property is significant within its historic context, the following five things must be determined:

- The facet of prehistory or history on a local, state, or national level that the property represents;
- Whether that facet of prehistory or history is significant;
- Whether it is a type of property that has relevance and importance in illustrating the historic context;
- How the property illustrates that history;
- Whether the property possesses the physical features necessary to convey the aspect of prehistory or history with which it is associated.

Based on local history presented in the historic context, the project area has been determined potentially eligible under all NRHP Criteria.

Criterion A: For its association with possibly either the Reno divorce industry that boomed from 1935 to 1970, or, the association with the VA Hospital, the first Nevada VA Hospital in the state. These contexts are reflected in the built environment as 20th century duplexes, triplexes, and multi-family residences. With additional research, one of these associations will be selected for this study area.

Criterion B: One of the houses in the study area might be connected to the creator of the Belli addition, however, additional research is needed.

Criterion C: For its association with Eugene Belli and its designed buildings. Additional research is needed in understanding if any of the buildings in the Belli Addition are designed by this local Reno developer.

Criterion D: The data potential of monitoring during demolition and excavation is high. Artifacts associated with the residences could yield further evidence of their association with historical contexts.

PERIOD OF SIGNIFICANCE

The period of significance for the study area is 1939 to 1958.

INTEGRITY

Integrity is the ability of a property to convey its significance, and is represented in seven aspects, or qualities that, in various combinations, define:

- *Location* - Location is the place where the historic property was constructed or the place where the historic event occurred.
- *Design* - Design is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Setting* - Setting is the physical environment of an historic property.
 - Topographic features (a gorge or the crest of a hill);
 - Vegetation;
 - Simple manmade features (paths or fences); and
 - Relationships between buildings and other features or open space
- *Materials* - Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form an historic property.
- *Workmanship* - Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* - Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.
- *Association* - Association is the direct link between an important historic event or person and an historic property.

The ability of a structure to convey its significance is based on these seven aspects of integrity and is grounded in an understanding of a property's physical features. Overall historic integrity in a property will always possess several, and usually most, of these aspects.

For an historic district to retain integrity as a whole, the majority of the components that make up the district's character-defining features must possess integrity even if they are individually undistinguished. In addition, the relationships among the district's components must be substantially unchanged since their period of significance. A component of an historic district cannot contribute to the significance, if it (a) has been substantially altered since the period of the district's significance or if it (b) does not share the history associated with the district.

SOW QUESTIONS AND ANSWERS WITH RECOMMENDATIONS

In the Scope of Work, the VA asked five questions in regard to the project study area's built environment and the possibilities that the historic properties might be a component of a potential National Register historic district.

Question #1: *What is the likelihood that any district, site, building, structure, object, landscape, or landform wholly or partly within the study area may be eligible for the National Register of Historic Places?*

The majority of the properties within the study area have high architectural integrity per the NRHP, representing a diversity of family houses (duplexes, triplexes, and apartment complexes) that date between 1939 and 1958. Two other properties, 700-710 E. Taylor Street and 885 Belli Drive, have had significant alterations and do not appear to have integrity. One resource within the study area, 829 Belli Drive, is a non-historic resource built in 1972 and is less than 50 years of age.

The majority of the buildings within the study area are multiple family residences and have had minimal changes over time. Because the parcels in the study area are discontinuous, it is hard to define it as one NRHP historic district but is definitely relevant to a large context of the area and its history as family housing to the broad contexts of the divorce industry and/or VA hospital. The Belli Drive parcels have single-family triplexes, something that appears to be unique to this area of southwest Reno, and is character-defining to possibly the Belli Addition. The layout of the resources on a set parcel is also interesting and is particularly visible on Belli Drive, such as on APN 013-181-15 where there is a single-story, Ranch-style duplex in front of a two-story Ranch-style garage/apartment that is adjacent to a two-story brick triplex. This parcel is densely paced with single-family housing and appears to be associated with the divorce industry; however, it is hard to tell without more research. In addition, the majority of the properties in the study area retain their architectural integrity, such as original aluminum or steel windows and asbestos siding.

In addition, the study area includes the possible closing of Kirman Avenue. This avenue is a main artery to these neighborhoods and is not advisable as an option. As a thoroughfare, it is historically significant to the Burke's and Belli Additions, platted as early as 1905, and could be a contributing resource as a boundary to an historic district.

Question #2: *What is the likelihood that other kinds of cultural resources (e.g. significant local sociocultural groups or activities, religious practices, cultural institutions, documents, artifacts, etc.) exist or occur in the study area?*

There is a likelihood that this area is significant, locally because of its affiliation with the divorce industry or the VA Hospital. In addition, there is likelihood that many of the properties constructed on Belli Drive in the 1950s were built by the Reno developer Eugene Belli, a namesake for the Belli Addition. There is also likelihood that the neighborhood would have an invested interest in the project, particularly the Historic Reno Preservation Society (HRPS) who has conducted tours in the neighborhood in both Burke's and Belli's Additions.

Questions #3: *If such eligible properties or other cultural resources are likely to exist in the study area, what likely effect would construction of the Project have on them?*

If historic properties are located in the Area of Potential Effect (APE), the Nevada State Historic Preservation Officer (SHPO) should be consulted, as well as the Advisory Council on Historic Preservation (ACHP), two agencies that evaluate the potential effects of NRHP eligible resources. As the Section 106 process is honored, the construction process could possibly be delayed although will not be halted.

Demolition of the potentially eligible properties could reduce or eliminate the integrity of any possible historic districts that would result from further study. Removing elements of a district should be done with caution, ensuring that the resources are first recorded properly or otherwise mitigated. Any properties that are themselves determined eligible for listing on the NRHP would have to be properly researched and recorded prior to demolition.

Finally, the construction of parking facilities will certainly have a visual impact on nearby historic resources or on any resources that are determined eligible by future study. Construction of new facilities should strive to be compatible in design with the historic period of the districts in which they are built. This will help mitigate the visual impacts to existing resources.

Question #4: *With whom should the VA plan to consult about cultural resource issues with respect to this project (include as much contact information as possible)?*

Because the VA is a federal agency, this project will need to go through the Section 106 process under the NHPA, and will need consultation with the Nevada State Historic Preservation Office (SHPO) in Carson City. The VA next needs to draw up an Area of Potential Effect (APE) and underline what is the project's impact to potential historic properties. This project description should include a detailed description that defines the federal undertaking. It is advised that a record search be done through the SHPO as soon as an APE has been selected in understanding what resources have been previously surveyed and if there are any previously written cultural resource reports. If a new structure is constructed within the district, visual effects may also be needed in how its design fits with the neighborhood, which will include its materials and massing, therefore the APE may be larger than the parcel(s) footprint.

Because the City of Reno has an active Historical Resource Commission (HRC), it might be a nice courtesy to consult with them as well as the Historic Reno Preservation Society (HRPS). Both HRC and HRPS are valuable sources and would have an invested interest in what is done by the VA.

If demolition will occur, it is important to consult with an archaeologist to see if there will be any effects on below ground archaeological artifacts. It is likely that corroborating artifacts will be found on the properties that will be associated with either the founding of the VA Hospital and/or the Divorce Industry.

Question #5: *What recommendations do you have for further study or other actions, if any, including minimizing or mitigating any potentially negative impacts?*

Additional research is needed in both the Mountain View Subdivision and Belli Addition. Eugene Belli was a builder in the area and it would be noteworthy to identify Belli-constructed resources, which might have been built on Belli Drive. In addition, it would be important to understand who built the Mountain View Subdivision in understanding its design in a broader context with the other two platted additions.

Mitigation options for negative impacts could be avoidance of potentially eligible historic properties. This avoidance can be done by adjusting the project area to encompass an already existing empty lot, such as the lot on the corner of Wilkinson Avenue and Belli Drive (See Figure 6), or another parcel that is outside the designated study area, which could minimize the impact on properties. Note, new construction might have not only a direct effect to a parcel but an indirect effect to the surroundings.

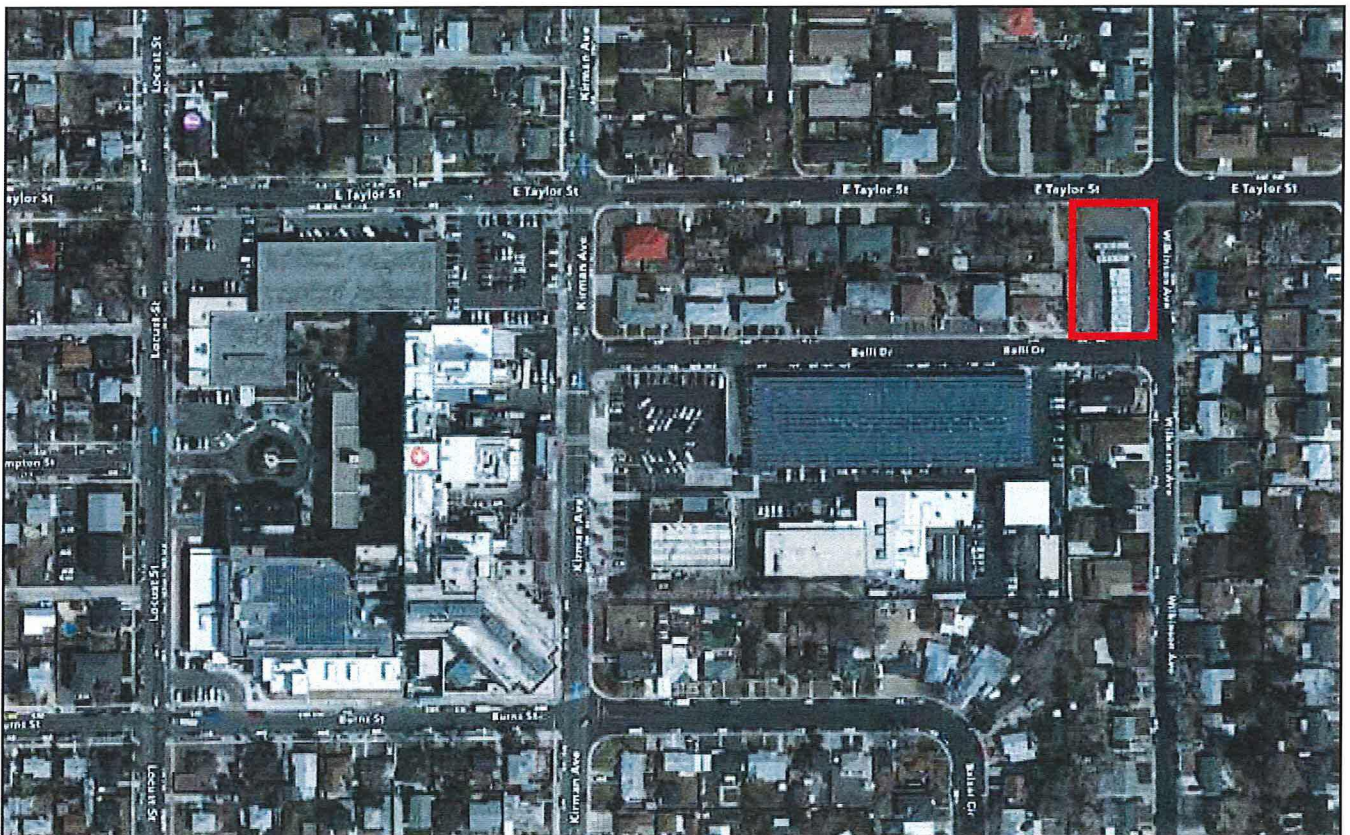


Figure 6: Alternate Development Location - Vacant Lot.

Another mitigation measure could be developing a thorough Historic Context of this mid-century development that includes a survey of the Burke's, Belli, and Mountain View platted areas in southwestern Reno. A majority of the properties in these neighborhoods have never been architecturally surveyed and are potentially significant to the above historic context as well as represent excellent examples of post-war, mid-century housing unique to Reno. An architectural survey outside the selected VA APE could be a great impact in assisting the city on their mid-century resources. It is advised that the VA consult with the SHPO, HRC, and/or HRPS in

understanding what would be a good mitigation measure for the southwest Reno area that would have a greater good, if this study area is chosen as an APE.

FURTHER RESEARCH

As is mentioned in the report above, further research is needed beyond this preliminary study. Research on the Belli, Burke's, and Mountain View Subdivisions is needed under the context of a full report in order to determine with certainty that there are enough resources and historical significance to create one or more historic districts in the area. More research is also needed in order to determine whether the properties in the current phase of development are indeed historic and should be listed on the NRHP. The scope of this preliminary report seems to indicate that all but one of the properties are historic, however, existing resources can be historically vague.

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APPENDIX A

Photographs



691 / 693 East Taylor (APN 013-124-14)



697 / 699 E. Taylor (APN 013-124-13)



825 / 835 Kirman Avenue (APN 013-124-12)



703 Balzar Circle (APN 013-182-22)



701 - 735 Belli Drive (APN 013-181-16)



765 Belli Drive (APN 013-181-15)



829 Belli Drive (APN 013-181-14)



845 Belli Drive (APN 013-181-13)



865 Belli Drive (APN 013-181-12)



885 Belli Drive (APN 013-181-11)



700 - 710 East Taylor (APN 013-181-01)

Appendix E

Architectural Resource Assessment (ARA) Forms for Acquisition Properties

**ARCHITECTURAL RESOURCE ASSESSMENT STUDY
OF THE PROPOSED ACQUISITION PARCELS,
AS PART OF THE VA SIERRA NEVADA HEALTH CARE
SYSTEM (VASNHCS) EXPANSION PROJECT,
RENO, WASHOE COUNTY, NEVADA**

MAY 2015



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El Dorado Hills, CA 95762

EXECUTIVE SUMMARY

This architectural resource assessment study was requested by Diablo Green Consulting, Inc. (Diablo Green) regarding the proposed acquisition of land surrounding the existing United States Department of Veterans Affairs (VA) facility in Reno, Nevada. The VA seeks to acquire land adjacent to the VA Sierra Nevada Health Care System (VASNHCS), Reno, Nevada, including the partial or total closure of Kirman Avenue, which bisects the VASNHCS campus. The VA is presently exploring potential sites for acquisition in anticipation of construction of new parking facilities to service the VASNHCS. As part of the proposed project, the VASNHCS has proposed to acquire up to eleven parcels for a minor construction project intended to increase parking at the VASNHCS campus. The project site encompasses approximately 2.2 acres and includes a portion of Kirman Avenue between Belli Drive and Balzar Circle. The eleven proposed acquisition parcels, owned by nine different landowners, consist of single-family and multi-family buildings that are located adjacent to the VASNHCS campus in Reno, Nevada.

Following a field inspection of the project Area of Potential Effect (APE), as well as archival and oral research, is recommended that the Wells Neighborhood, inclusive of 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street, being located in Burkes Addition with the project APE, has potential as a National Register of Historic Places (NRHP) historic district, defined roughly by Vassar Street to north of Stewart Street and bounded by Kirman Avenue to the east. This recommendation is based, in part, upon the documentation provided by Ross-Hauer and Sigler in 2014 in their study of the Wells Neighborhood. A pedestrian and windshield survey of the Burkes Addition bears out the recommendation by Ross-Hauer and Sigler that the Addition has a good representative mix of housing styles that reflect the potential historic district period of significance. It has also been determined, after a careful field assessment and historical research, that the proposed acquisition parcel at 825/835 Kirman Avenue lacks integrity, and, therefore, is not a "contributing" resource to the potential Wells Neighborhood historic district. In addition, the proposed acquisition parcels located at 691/693 E. Taylor Street and 697/699 E. Taylor Street were built in 1953 and 1954, beyond the period of significance of 1945 recommended by Ross-Hauer and Sigler (2014) for the potential Wells Neighborhood historic district, and, therefore, are not potential contributing resources to the historic district.

Mountain View Subdivision, comprised of approximately 57 parcels, lacks integrity, despite having largely been developed in the 1940s, due to numerous non-historical alterations to the facades of the majority of homes. The property at 703 Balzar Circle, which also lacks integrity, and is the only property in the direct project APE within the subdivision, exemplifies the types of alterations that have occurred to other properties in the subdivision. Ultimately, 703 Balzar Circle does not appear to be eligible for the NRHP, either individually or a contributor to a potential NRHP historic district.

The Belli Addition, based upon a pedestrian and windshield survey, retains very high integrity in respect to the neighborhoods architecture evidenced primarily by single-story and multi-story brick or brick veneer buildings in the Ranch style of architecture. In regards to the parcels

identified in the project APE, with the exception of 825/827/829/831 Belli Drive, which was built in 1972, beyond the proposed period of significance (1965), the remaining properties in the project APE retain excellent integrity, including 701/707/715 Belli Drive, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805/807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive, and therefore represent contributing properties to a potential NRHP historic district that includes the north side of Belli Drive between Kirman Avenue and Wilkinson Avenue, the east side of Kirman Avenue between Roberts Street on the north and Belli Drive on the south, the west side of Wilkinson Avenue between Belli Drive and Roberts Street, the portion of E. Taylor Street between Kirman Avenue and Wilkinson Avenue, and the entirety of Edelweiss Street and Helvetia Street. None of the Belli Addition properties appear to be individually eligible for the NRHP.

ACKNOWLEDGEMENTS

This project was enhanced by the previous authors of studies that provided a general context for the development of suburban residential and multi-family neighborhoods in southeast Reno, as well as the historical development of the Nevada Health Care System (VASNHCS). Professor Emeritus, U.C. Davis, E Steve McNiel assisted in interpreting the historical landscape of the neighborhoods, and Barbara Irvine, B.A. helped prepare the final report and assisted in the development of the historic context.

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Architectural Resource Assessment (ARA) Structure Forms

1.0 INTRODUCTION AND PROJECT DESCRIPTION

This architectural resource assessment study was requested by Diablo Green Consulting, Inc. (Diablo Green) for the proposed acquisition of land surrounding the existing United States Department of Veterans Affairs (VA) facility in Reno, Nevada. This report is being submitted in accordance with the VA request summarized on Task Order #22, updated October 9, 2014. The VA seeks to acquire land adjacent to the VA Sierra Nevada Health Care System (VASNHCS), Reno, Nevada, including the partial or total closure of Kirman Avenue, which bisects the VASNHCS campus. The VA is presently exploring potential sites for acquisition in anticipation of construction of new parking facilities to service the VASNHCS.

As part of the proposed project, the VASNHCS has proposed the acquisition of up to eleven individual parcels for the project intended to increase parking at the VASNHCS campus. The project site encompasses approximately 2.2 acres and includes a portion of Kirman Avenue between Belli Drive and Balzar Circle. The eleven proposed acquisition parcels, owned by nine different landowners, consist of single-family and multi-family buildings that are located adjacent to the VASNHCS campus in Reno, Nevada, and are described as follows:

The project direct APE is currently developed with two single-family residences (885 Belli Drive and 703 Balzar Circle); five duplexes (691/693 E. Taylor Street, 697/699 E. Taylor Street, 700/710 E. Taylor Street, 825/835 Kirman Avenue; and 805/807 Belli Drive; two triplexes (701/707/715 Belli Drive and 801 Belli Drive); one fourplex (825/827/829/831 Belli Drive); and four apartments (735 Belli Drive, 765 Belli Drive, 845 Belli Drive, and 865 Belli Drive), together with a handful of ancillary structures, such as garages. The project also calls for the closure of a portion of Kirman Avenue between Belli Drive and Balzar Circle to through traffic.¹

Acquisition of some or all of these properties will allow the VASNHCS to increase available surface parking by up to 580 spaces; depending upon which properties the VASNHCS is able to acquire, closure of roads may be needed to create a contiguous campus and ensure pedestrian safety.

¹ The difference between an apartment and a triplex or fourplex is subtle. A triplex is simply an apartment with 3 units and a fourplex is an apartment with four units.

The purpose of this study is to fulfill the requirements under the National Historic Preservation Act (1966 as amended) and Section 106 regulations regarding potential effects to historic properties. Based upon the present scope of the project, the primary or direct Area of Potential Effect (APE) is defined by the parcel boundaries of the proposed eleven properties that are being considered for acquisition by the VASNHCS, and the visual APE extends to the boundaries of the three subdivisions that surround the hospital complex, namely Burkes Addition, Belli Addition, and Mountain View Subdivision. A pedestrian reconnaissance was conducted within the direct APE, and a pedestrian and windshield survey was conducted within the respective boundaries of the three subdivisions in order to ascertain whether a potential historic district is present (Figure 1). A few of the parcels had limited access due to fences, animals, and the relationship of the public easement to the actual property. Where possible an attempt was made to document the rear of buildings or structures in the direct APE. Besides the principal architectural historian, Dana E. Supernowicz, M.A., RPA, U.C. Davis professor emeritus E. Steve McNiel, formerly chair of the university's Landscape Architecture department assisted in the field survey.

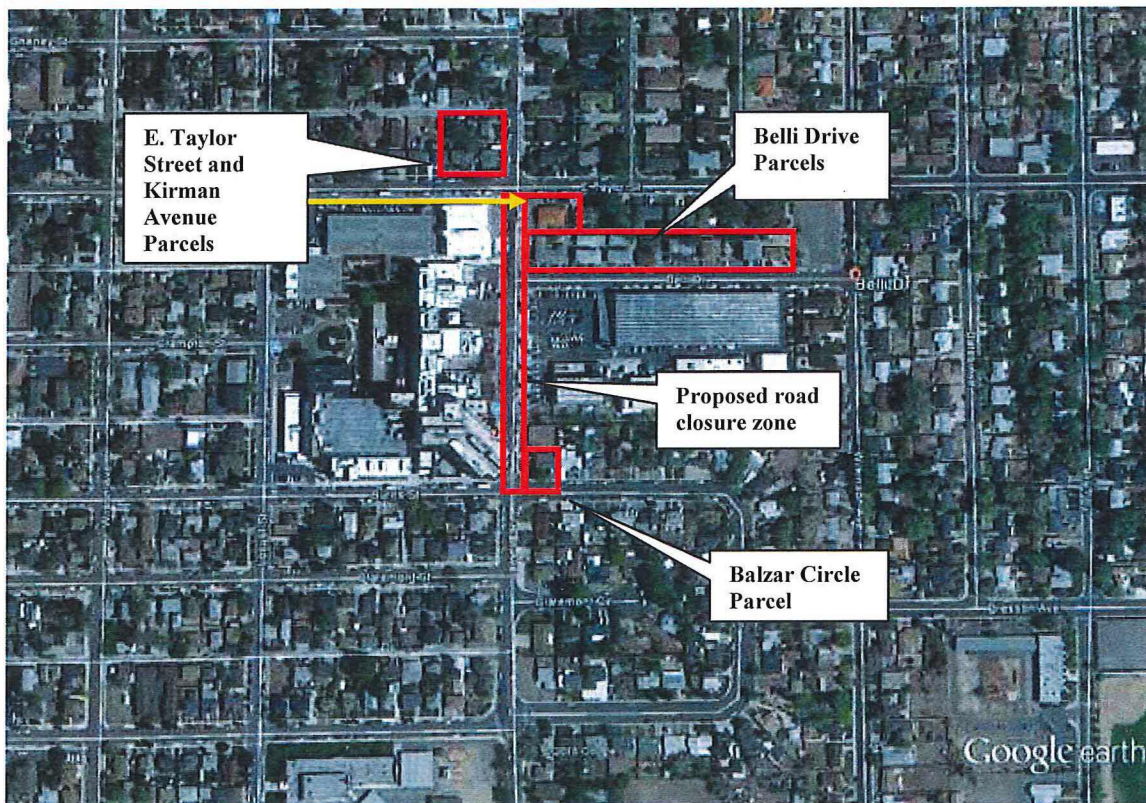


Figure 1. Proposed Acquisition Parcels and Project APE Map (Google Earth 2015)

Table 1. Proposed Phase 1 Acquisition Parcels

Resource Identification and Address	Parcel Number	Subdivision	Construction Date	Type of Property	Current Owner
B13801 (691/693 E. Taylor Street)	013-124-14	Burkes Addition	1953	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger)
S1241 (691/693 E. Taylor Street)	013-124-14	Burkes Addition	1953	Garage	RECE Limited Partnership (Robert and Cheryl Eikelberger)
B13802 (697/699 E. Taylor Street)	013-124-13	Burkes Addition	1954	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger)
B13803 (700/710 E. Taylor Street)	013-181-01	Belli Addition	1953	Duplex	Belli Family Trust
B13811 (825/835 Kirman Avenue)	013-124-12	Burkes Addition	1939	Duplex	RECE Limited Partnership (Robert and Cheryl Eikelberger)
S1244 (825/835 Kirman Avenue)	013-124-12	Burkes Addition	1953	Garage	RECE Limited Partnership (Robert and Cheryl Eikelberger)
B13805 (703 Balzar Circle)	013-182-22	Mountain View Subdivision	1940	Single family residence	Michael C. LaGrange
B13804 (701/707/715 Belli Drive)	013-181-16	Belli Addition	1952	Triplex	Rita M. Potts
B13806 (735 Belli Drive)	013-181-16	Belli Addition	1952	4-unit Apt.	Rita M. Potts
S1242 (735 Belli Drive)	013-181-16	Belli Addition	1952	Garage	Rita M. Potts
B13807 (765 Belli Drive)	013-181-15	Belli Addition	1952	4-unit Apt.	Mar-John Properties, LLC
S1243 (765 Belli Drive)	013-181-15	Belli Addition	1952	Garage	Mar-John Properties
B13808 (801 Belli Drive)	013-181-15	Belli Addition	1954	Triplex	Mar-John Properties, LLC
B13809(805/807 Belli Drive)	013-181-15	Belli Addition	1958	Duplex	Mar-John Properties, LLC
B13810 (825/827/829/831 Belli Drive)	013-181-14	Belli Addition	1972	Fourplex	David C. Beck, Jr.
B13812 (845 Belli Drive)	013-181-13	Belli Addition	1958	6- unit Apt.	Brandon W. and Bridget Burns
B13813 (865 Belli Drive)	013-181-12	Belli Addition	1958	6-unit Apt.	Schmitz Living Trust (Kurt G. and Gwenyth L. Schmitz)
B13814 (885 Belli Drive)	013-181-11	Belli Addition	1946	Single family residence	John W. and Loretta A Woods

2.0 LITERATURE REVIEW AND FIELD SURVEY

In 2015, Chris Webster of DIGTECH performed an archaeological survey within the project APE and conducted a literature search through the Nevada State Historic Preservation Office Cultural Resource Information System (NVCRIS) online database, as well as at the Nevada Bureau of Land Management (BLM) Carson City District Office, Webster also reviewed the National Register of Historic Places and the Nevada State Register of historic properties, historical General Land Office (GLO) maps, and U.S. Geological Survey (USGS) maps. In addition to the research by DIGTECH, Historic Resource Associates conducted more intensive field research, reviewed newspaper archives, United States Federal Census data, city directories, property records, and vital statistics records, as well as oral history.

Fieldwork was conducted over a period of two days. The first day was spent reviewing the project APE and examining similar properties or suburban housing tracks in Reno. The second day was spent conducting the fieldwork in the project APE and recording the properties proposed for the first phase of acquisition. The fieldwork was conducted principally from the sidewalk or public space along the street except for public alleys or other points of access, such as a common driveway. Photographs were taken of each property and notes were compiled regarding architectural and landscape characteristics. Professor Emeritus E. Steve McNeil, former chair of the U.C. Davis Landscape Department assisted the principal, Dana E. Supernowicz, M.A., RPA in the fieldwork, focusing on the physical landscape of the three subdivisions.

3.0 HISTORIC CONTEXT

The historic context for the study relates to the planning and development of residential and multi-family subdivisions from the early 1900s through the mid-twentieth century in Reno and Washoe County, Nevada. This broad context draws upon the expansion of Reno's municipal boundaries just before and after World War II, and the acute need for additional housing in and around the city during the late 1940s through the early 1960s, when most of the properties in the direct project APE were constructed. Besides the central historic context for the study, there are sub-themes that reflect upon the development of government projects during the twentieth century, particularly the construction of the Veteran's Administration Hospital (VA Sierra Nevada Health Care System/VASNHCS) within a portion of Reno known as Burkes Addition, as well as other private sector development associated with increased commerce, trade, and the gaming industry.

As previously noted, the direct project APE includes eleven parcels, inclusive of Burkes Addition, Belli Addition, and the Mountain View Subdivision, which encompass and surround the VASNHCS. Burkes Addition was filed in 1907 with Washoe County, Belli Addition was filed on September 9, 1946 by Mario Belli, Erminia Belli, and Mary Belli, and the Mountain View Subdivision was filed on September 10, 1944. As a consequence, infill within the Burkes Addition reflects housing styles and designs that generally pre-date World War II, while the Belli Addition and Mountain View Subdivision reflect designs that can generally be characterized as mid-twentieth century or post-World War II housing, although some of the housing units reflect the use of materials, such as brick veneer, that harkens back to the turn of the twentieth century in Reno and Washoe County.

Three previous historic contexts prepared by different consultants have direct relevance to the current project, including the previously mentioned study by Chris Webster, "Preliminary Cultural Resources Study of Areas Adjacent to the VA Sierra Nevada Health Care System, Reno, Nevada" (February 2015), which encompassed the actual project area; JoEllen Ross-Hauer and Jennifer Sigler, "A Historic Context for the Wells Neighborhood, Reno, Nevada" (July 2014), covering the Wells Addition to the northwest; and Marcel Quimby, "National Historic Preservation Act (NHPA) Section 106 Report: Initiation, Identification and Assessment of Historic Properties for Building 1 Seismic Upgrade & Clinical Expansion at the VA Sierra Health Care System Reno, Nevada" (March 2015), focusing on the VASNHCS campus. Together these three studies provide a useful account of the expansion of Reno's residential neighborhoods, and, in the case of Quimby's study, a detailed history of the development of the VASNHCS.

Also of importance is the study prepared by the California Department of Transportation (Caltrans) in 2011, entitled *Tract Housing in California, 1945-1973: A Context for National Register Evaluation*.² As noted in the Caltrans study, "More than 40 million housing units were built in the United States during the 30-year period following the end of World War II, and at least 30 million of these were single-family houses."³ In the last ten years several similar studies have been prepared in other different states, including Georgia.⁴ Because of the ubiquitous nature of suburban tract housing built after World War II, the importance of this type of resource generally reflects the tract as a whole versus any specific houses in the tract.

² California Department of Transportation (Caltrans). *Tract Housing in California, 1945-1973: A Context for National Register Evaluation*, 2011.

³ Caltrans, ii.

⁴ New South Associates. *The Ranch House in Georgia: Guidelines for Evaluation*, 2010; and Clare J. Richfield. "The Suburban Ranch House in Post-World War II America: A Site of Contrast in an Era of Unease, Uncertainty, and Instability." Barnard College, Department of History, Spring 2007.

While Burkes Addition was located within the official boundaries of the City of Reno, the Belli Addition and Mountain View Subdivision were once located just outside the municipal boundaries. The temporal historic context for the Belli Addition and Mountain View Subdivision are similar, as both subdivision filings occurred only two years apart - Mountain View in 1944 and Belli in 1946. While the concept of urban growth expanding from the city center towards the "periphery" is cited as a standard planning model, this same growth model applies to the greater Reno area from the late nineteenth through the mid-twentieth century (Figure 2). This expansion from the old city center was largely tied to industrial and commercial development following the World Wars when GIs returned home or relocated to cities in search of jobs. In Reno, the creation of the gaming and divorce industry in the 1930s ushered in a new wave of residents seeking places to live that were affordable, and in some cases in close proximity to their places of employment.

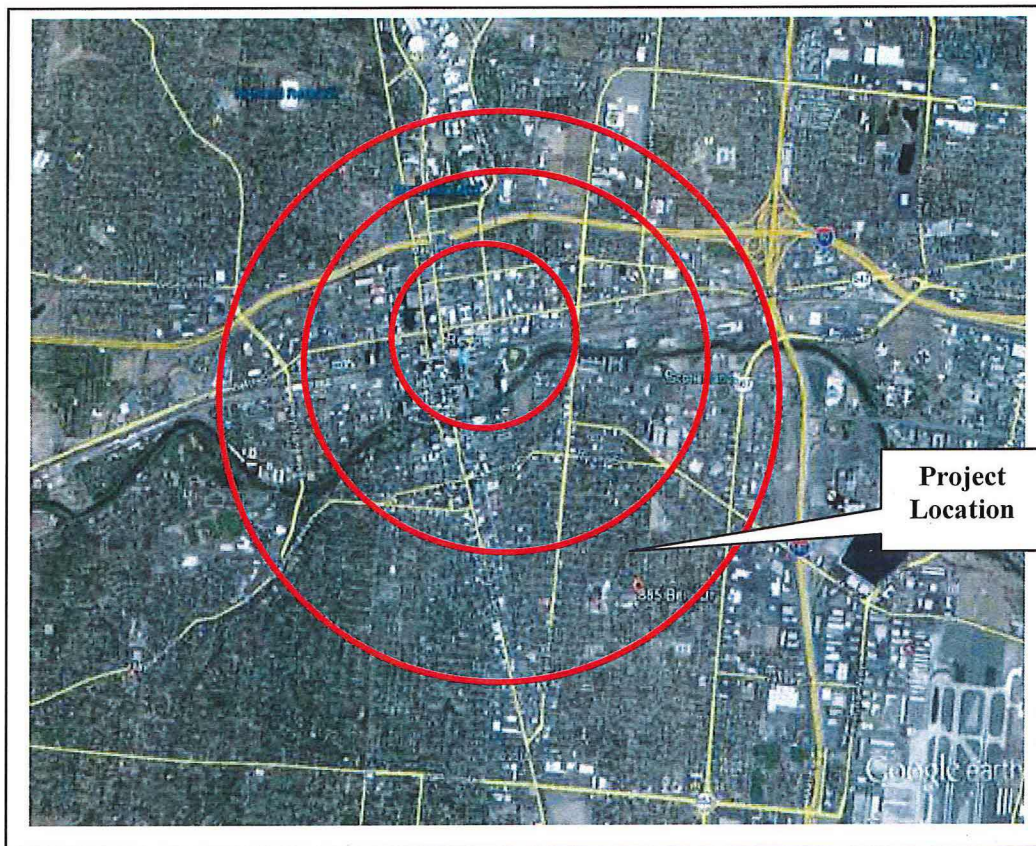


Figure 2. Growth from the late nineteenth century (smallest circle) through the 1940s (largest circle), indicated by the three red concentric circles moving southwest and southeast as new areas were annexed into the central city.

Undeveloped land in the southeast periphery of the city limits was affordable and presented an ideal location for expansion of homes and multi-family apartments. As JoEllen Ross-Hauer and Jennifer Sigler posit, "the evolution of American suburbs as it pertains to the Wells Neighborhood can be divided into four main stages: the Railroad Suburbs (1830 to 1890), the Streetcar Suburbs (1888 to 1928), the Early Automobile Suburbs (1908 to 1945), and Mid-Century Suburbs (1945 to 1960)." Ross-Hauer and Sigler note that "each corresponds to a particular chronological period based on the mode of transportation which dominated at the time and fostered the expansion of the city and the development of residential neighborhoods."⁵ Although transportation was a key factor in the evolution of suburbs, one of the principal issues for Reno was other forms of infrastructure, particularly power, water, and sewer. Without these key infrastructure elements growth was sporadic at best and while subdivision maps may have been filed within the county, actual development proceeded at a slow pace until the end of World War II or when such infrastructure was in place. As with any subdivision, road improvements followed development, which included curbs, gutters, paved road surfaces, and sidewalks.

Marcel Quimby describes the evolution of housing tracts around the VASNHCS:

Much of the land surrounding what would become the VA Hospital was purchased by Sheldon Wells in 1887 for his sheep and hay ranch and was located to the east of the town of Reno. By 1903, the first residential subdivision was created nearby - the McCormick addition which included three blocks bounded by Burns Street, North Holcombe, Malone Lane and Wheeler Avenue. After Wells' death in 1900, his family subdivided his ranch property and platted their first subdivision in 1907 - the ten-block Wells Addition also along Holcombe Avenue. Other residential subdivisions to the east were soon created - Meadow View Addition in 1906 (between McCormick and Wells additions), Terrace Tract, Southern Addition and Burkes Addition in 1907. These new neighborhoods included the property roughly bounded by Holcombe to the west, Ryland to the north, Kirman Avenue to the east and Vassar to the south. Streetcar service began in Reno in 1904 and by 1910 a streetcar line extended to nearby Wells Street and served these neighborhoods; public utilities (gas, water and electricity) served the lots. The early homes were located primarily along Holcombe Avenue and incorporated Vernacular, Folk Victorian and Queen Anne architectural styles. By the 1910s and 1920s architectural styles included Craftsman bungalows, Revival styles

⁵ Ross-Hauer and Sigler 2014: 4.

followed by homes of Tudor and Minimal Traditional styles in the 1930s and 1940s.⁶

Another factor, and one discussed by Ross-Hauer and Sigler, was the government's expansion of low interest or low cost mortgages. Beginning in the 1920s most home loans were offered by local saving institutions, but by the 1930s the Federal Housing Administration (FHA) instituted a national program that "through its approval of properties for mortgage insurance and the publication of housing and subdivision standards, would stimulate home ownership and regulate home building practices for decades to come."⁷ Historic documents suggest that the Mountain View Subdivision relied upon the FHA for its much of its funding during the early 1940s.⁸

On November 25, 1941, a large advertisement was run in the *Reno Evening Gazette* that announced that "Private Construction Can Go Ahead." The ad referred to a perceived wartime ban on building materials that would have resulted in a shortage and curtailed new construction in Reno. The ad went on to state that "of the \$5,000,000 set aside for the national housing act, only \$3,000,000 had been used," leaving roughly \$2,000,000 for low interest FHA backed loans.⁹

Another event that had a marked effect upon the three project subdivisions was the establishment of a Veterans Hospital adjacent to Burkes Addition. The history of the hospital is described in great detail in the report prepared by Marcel Quimby, FAIA for the Department of Veterans Affairs (Quimby 2015). According to the *Reno Evening Gazette* for January 19, 1937, the Nevada State Legislature passed a "hospital bill" that allowed for the construction of the Veterans Hospital in Reno. Dr. F.W. Scott was the first superintendent of the newly formed hospital that was located along Kirman Avenue, E. Taylor Street, Burns Street, and Locust Street. The Art Deco hospital, welcomed by war veterans, was built during the Great Depression and provided much needed jobs within the City of Reno. During the late 1930s through World War II, housing was scarce for workers at the hospital. By the 1940s most of Burkes Addition was largely developed, but it was not until the mid-1940s that housing began in earnest in the Mountain View Subdivision and not until the 1950s that housing starts increased in the Belli Addition. By the 1950s these three subdivisions offered additional housing for hospital employees, as well as veterans who required on and off care at the hospital and other low to middle-income wage earners. Beginning around 1946 the *Reno Evening Gazette* ran advertisements catering to newly arriving veterans from World War II, regarding permanent and temporary housing.

⁶ Quimby, 2.14.

⁷ Ibid, 7.

⁸ *Reno Evening Gazette*, January 18, 1944.

⁹ *Reno Evening Gazette*, November 25, 1941.

Prior to the 1930s both gambling and divorce played a role in Reno's economy. In March 1931, when the Nevada State Legislature acted upon the depopulation of the state during the Great Depression by legalizing gambling, and later in the same year, legalizing divorce. JoEllen Ross-Hauer and Jennifer Sigler describe the development of the divorce industry as follows:

Between 1929 and 1939, more than 30,000 divorces were granted at the Washoe County Courthouse, and Reno became known as the divorce capital of the world. Partly as a result of the divorce trade, the 1920s and early 1930s were particularly prosperous years for Reno (Harmon 1998:86-89). During this time, the town experienced a growth spurt. In 1925, construction permits were issued exceeding \$1,430,457. The growth peaked in 1929, when building permits totaled \$2,111,275. Building permit activity did not fall below the \$1 million level until 1932. Reno was able to thrive economically during the first few years of the Great Depression, supported in part by the divorce trade, which resulted in a greater demand for housing. Between 1920 and 1940, Reno's population grew from 12,016 to 21,317, an increase of 43 percent. The number of dwelling units grew as well, from 2,617 in 1920 to 7,309 in 1940, an increase of 64 percent. The Wells Neighborhood was also a favored area with divorce seekers in the 1930s, several of whom resided in the area.¹⁰

While these two events did to some degree result in an immediate inflow of people into the state after World War II, gambling and, to a lesser extent, legal divorce, continued to incentivize residency in Nevada, particularly in and around Reno.¹¹ Another factor in the expansion of Reno's suburbs were improvements to U.S. 40 one the busiest interstate highways in America during the 1940s and 1950s. Today, Interstate 80 cuts a large swath through Reno. Together both routes helped expand commerce and trade in the city, creating jobs and demands for new housing.¹²

¹⁰ Ross-Hauer and Sigler, 12-13; see also Mella R. Harmon. *Divorce and Economic Opportunity in Reno, Nevada during the Great Depression*. Master's thesis, University of Nevada, Reno, 1998.

¹¹ For a detailed discussion of the history of gambling and the divorce industry in Nevada, refer to Dana R. Bennett. "The Up-Growth of New Industries: Transformation of Nevada's Economy 1918-1929." *Nevada Historical Society Quarterly*, Fall 2009, pp. 187-193.

¹² Frank Brusca. "Return to Route 40: A Half-Century of Landscape Change Along A Transcontinental American Highway." <http://www.route40.net/page.asp?n=1>. Accessed April 2015.

3.1 Burkes Addition

Burkes Addition (Figure 3) is a 34-block subdivision in southeastern Reno platted on July 1, 1907, and named for local developer, Charles H. Burke. Only three properties in the direct project APE are located within Burkes Addition: 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street (Table 1 and Figure 4). Charles H. Burke's residence at 36 Stewart Street is listed on the National Register of Historic Places (NRHP) (NR# 84002077), along with a second property, the Burke-Berryman House (NR# 04000884), located in Burkes Addition at 418 Cheney Street. According to Ross-Hauer and Sigler (2014) Burke lived for over 30 years in the Queen Anne/Colonial Revival style house he built for himself at 36 Stewart Street in the Ryland Addition in 1908. Burke retired from the real estate business in around 1920 and became a quarantine officer for the Nevada State Department of Agriculture. He died in 1944 at the age of 79.¹³

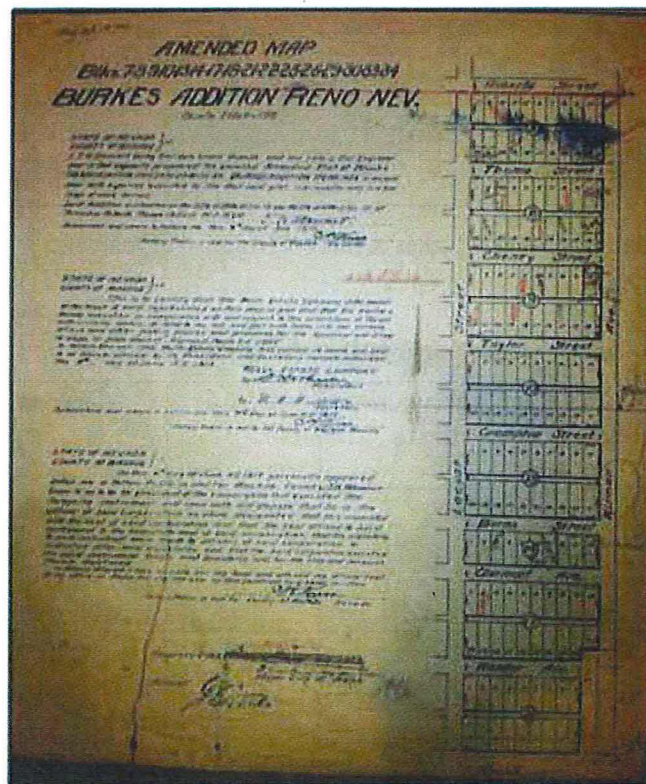


Figure 3. Burkes Addition Subdivision Map (as amended).

¹³ Ross-Hauer and Sigler, 43.

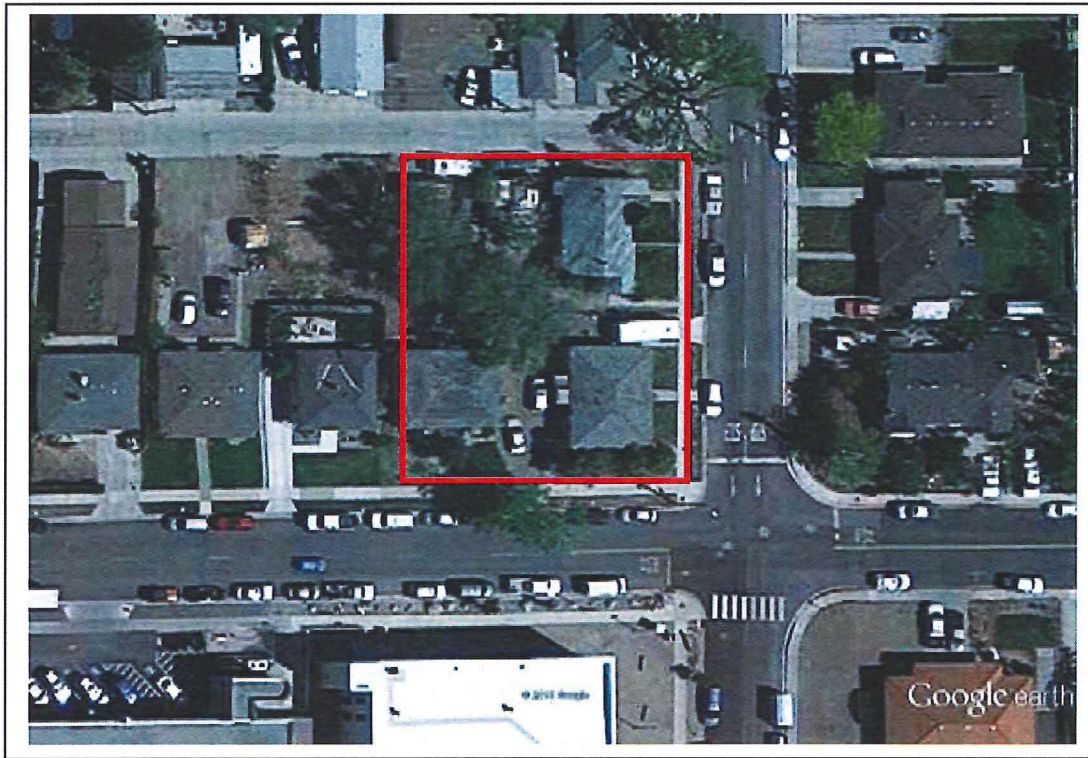


Figure 4. Aerial view of the Burkes Addition project APE parcels.

Table 2. Burkes Addition Project APE Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
691/693 E. Taylor Street	013-124-14	Lot 14, Block 9	1953	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)
697/699 E. Taylor Street	013-124-13	Lot 12, Block 9	1954	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)
825/835 Kirman Avenue	013-124-12	Lot 12, 13, and 14, Block 9	1939	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)

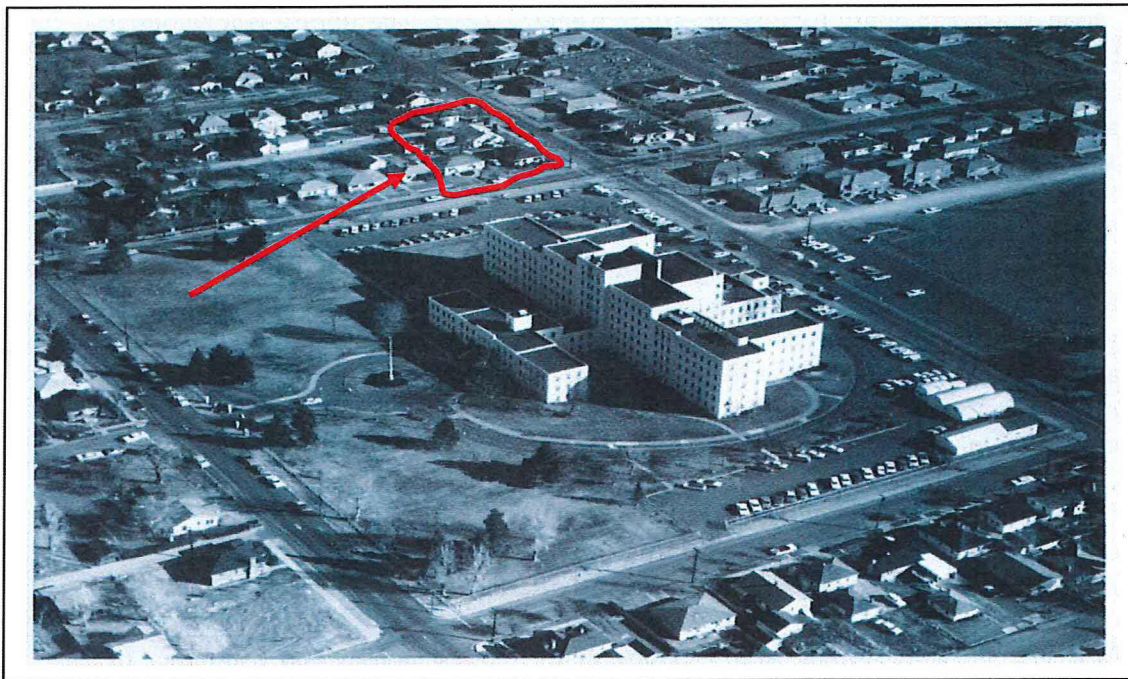


Figure 5. Aerial View of the Veteran's Hospital in the 1960s, and to the north portions of Burkes Addition and the northeast Belli Addition. The red box encompasses 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street (Quimby 2014).

Quimby further describes Burkes Addition as "the largest subdivision . . . developed by the Wells Estate Company in 1907; the L-shaped, 82-acre addition extended from Vassar Street to north of Stewart Street and was bounded by Kirman Avenue at the east."¹⁴ Charles H. Burke (1865-1944) emigrated from Liverpool, England to Reno via Los Angeles around 1890. Initially, he worked as a farrier and blacksmith in downtown Reno and is listed under that profession in the 1900-1904 Polk's City Directories. His first real estate transaction occurred as early as 1898 when he purchased property from Real Estate and Insurance Agent C.S. Martin. Between 1898 and 1911, Burke was involved in over one hundred real estate transactions.

Burkes Addition is bounded by Cheney and Ryland Streets on the north, Wells Avenue and Locust Street on the west, Vassar Street on the south, and Kirman Street on the east. The subdivision was divided into parcels, which could be purchased for \$300.00. Burke donated several tracts of the addition to the City of Reno. The donated areas included an area southwest of the parcel meant for the construction of a schoolhouse (present location of the City Hall complex) and a corner lot for a firehouse (current location of the 1965

¹⁴ Quimby, 2.14-2.15.

Modern style Washoe County Library at 301 S. Center Street). The library is a National Register-listed property (NR# 13000014). Burke also donated an additional centrally located parcel for the city to use as a park (current location of the Reno Veteran's Administration Hospital).¹⁵ Ultimately, Burkes Addition comprised 34 blocks with 334 lots for sale. According to Quimby:

In 1917, the planned location of Kirman Avenue was relocated to the east approximately one block, making the blocks between Locust Street and Kirman Avenue rectangular in shape (instead of square as the other blocks were) and almost twice as long as the remainder of the blocks in the addition. In 1920, 277 lots were still available, indicating that sales were not happening at a fast pace. However, during the 1920s the pace of construction appears to have picked up and the neighborhood was completed in the 1940s - with residential development spanning almost forty years. The neighborhood at the east side of Kirman Avenue and opposite from the hospital was constructed after World War 2 with homes that are largely Minimal Traditional and early Ranch style homes.¹⁶

Enjoying steady growth, Burkes Addition saw many modest homes and a number of duplexes built from the 1930s through the 1950s. During World War II there was a major lapse in new construction, as there were no new sewer or electrical lines being installed. Thereafter, the remaining vacant lots were developed as utilities were added to the subdivision. Many of the later homes were built by contractor Ed Lee. Construction supplies were in short supply during the war, so Lee reportedly built modest 700-square-foot homes with no basements. Burke, himself, reportedly designed and built many of the homes in the subdivision.¹⁷ Because Burkes Addition was filed in 1907, many of the residences, if not most, predate the Belli Addition and Mountain View Subdivision by several decades. Therefore, the prevailing style of architecture in Burkes Addition is more in keeping with the "Revivalist" styles of architecture that were popularized during the 1920s through the 1930s, such as English Cottage, French, and Craftsman. After World War II, infill within the addition included Ranch style residences.

¹⁵ Chris Webster, Digital Technologies in Archaeological Consulting, LLC. Preliminary Cultural Resources Study of Areas Adjacent The VA Sierra Nevada Health Care System, Reno, Nevada. Prepared for Diablo Green Consulting, Inc., 415 Boulder Court, Suite 300, Pleasanton, CA, February 2015, pp. 3-4. Webster's data came largely from the study by Rebecca Ossa entitled Burke-Berryman House National Register Nomination. Prepared by the Nevada State Historic Preservation Office. Washington, DC: National Park Service, National Register Program, 2004. The study can be accessed at: <http://pdfhost.focus.nps.gov/docs/NRHP/Text/04000984.pdf>.

¹⁶ Quimby, 2.14-2.15.

¹⁷ Webster 2015.



Figure 6. A Minimal Traditional/Ranch style duplex at 825/835 Kirman Avenue in the Burkes Addition project APE.

The following information was extracted from the *Reno Evening Gazette* newspaper for September 18, 1953:

BURKES ADDITION

Itaio Martinelli	S½	Lot 11, Block 8	\$ 336.00
H.L. and M.A. Eikelberger	N½	Lot 12, Block 8	\$ 336.00
Frank and Mary L. DiPietro	S½	Lot 12, Block 8	\$ 336.00
Louis W. and Ida I. Chase		Lot 2, Block 9	\$ 262.50
C.A. and Dorothy States		Lot 4, Block 9	\$ 277.50
Nadina Hill		Lot 7, Block 9	\$ 277.50
Mildred Meusell		Lot 8, Block 9	\$ 277.50
Marvin and Bonnie Hodgkinson		Lot 9, Block 9	\$ 305.25
Marvin and Bonnie Hodgkinson	WS	Lot 10, Block 9	
W. Elmo and Dorothy DeWitt	S½ of E	Lot 10, Block 9	\$ 249.75
Esio and Mary Petroni	N½	Lot 11, Block 9	\$ 286.00
W. Elmo and Mary DeWitt	S½	Lot 11, Block 9	\$ 336.00
W. Elmo and Mary DeWitt	S½	Lot 11, Block 9	\$ 138.75

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Henry and Irene Pastorino	N½	Lot 12, Block 9	\$ 336.00
Henry and Irene Pastorino	N½	Lot 12, Block 9	\$ 137.00
H.L. and M.A. Eikelberger	S½	Lot 12, Block 9	\$ 458.50
Henry and Irene Pastorino		Lot 13, Block 9	\$ 333.00
Henry and Irene Pastorino		Lot 14, Block 9	
H.L. and M.A. Eikelberger		Lot 14, Block 9	\$ 222.00
Ena L. Gerton		Lot 15, Block 9	\$ 277.50
Leslie A. and E.M. Leggett		Lot 17, Block 9	\$ 277.50
William C. and Lola M. Hart		Lot 10, Block 14	\$ 463.38
Helen A. Wood		Lot 1, Block 15	\$ 319.79
Emory A. and D.M. Morgan		Lot 2, Block 15	\$ 277.50
John R. and Marie E. Crep		Lot 3, Block 15	\$ 277.50
W.B. and Clara M. Shaw		Lot 4, Block 15	\$ 249.75
Ruth M. Richardson		Lot 8, Block 15	\$ 277.50
John Sinelio		Lot 9, Block 15	\$ 277.50
Beulah A. Saulter		Lot 11, Block 15	\$ 277.50
Beulah A. Saulter		Lot 12, Block 15	\$ 319.79
Edna Peterson		Lot 2, Block 16	\$ 277.50
William and C.M. Pennington		Lot 10, Block 16	\$ 257.50
Willis G. and Paula Brueckner		Lot 2, Block 17	\$ 277.50
Lawrence T. and Roberta E. Quarles		Lot 3, Block 17	\$ 277.50
Cecil R. and Elsie V. Kearns		Lot 11, Block 17	\$ 360.75
Mary L. and Louie T. Rosasco		Lot 12, Block 17	\$ 277.50
Mary L. and Louie T. Rosasco		Lot 13, Block 17	\$ 277.50
Harry and Helen Gatewsky		Lot 14, Block 17	\$ 277.50
Oscar L. Raymond		Lot 20, Block 17	\$ 277.50
R.M. Nash and Doris W. Rose		Lot 3, Block 1	\$ 292.92

The preceding list provides a snapshot of ownership in the subdivision during the early 1950s. The relatively low values suggest very modest size homes and a number of properties are owned by the same parties, such as H.L. and M.A. Eikelberger, Henry and Irene Pastorino, and Mary L. and Louie T. Rosasco, which seem to suggest many of the buildings were acquired as rentals or as income property.



Figure 7. View of Burkes Addition, looking west from Kirman Avenue down E. Taylor Street from just beyond 691/693 E. Taylor Street.



Figure 8. View of Burkes Addition, looking west from the intersection of Wilson and E. Taylor Streets.

3.2 Mountain View Subdivision

The Mountain View Subdivision, containing approximately 56 parcels, was platted on September 10, 1944. The subdivision is bordered by Balzar Drive, which forms a "U" shape as it returns to Kirman Avenue to the west, and Boyle Circle that is centered in the middle of the subdivision (Figure 9).

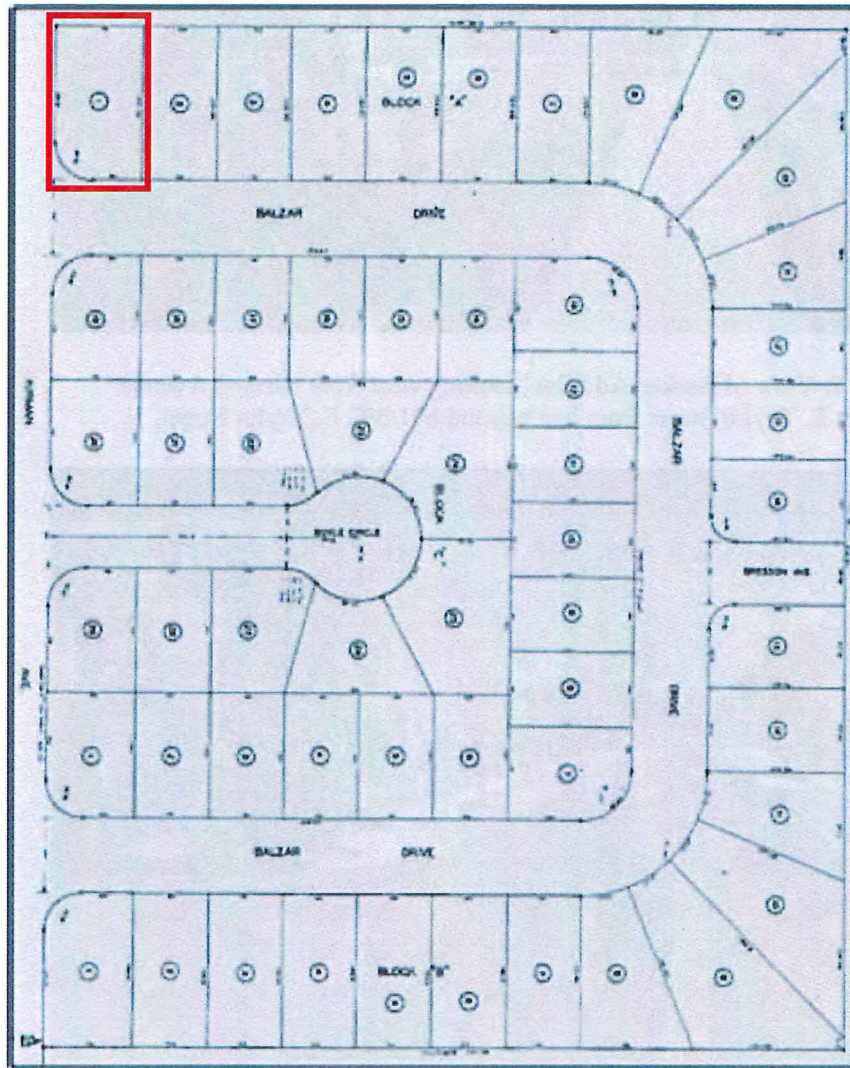


Figure 9. Mountain View Subdivision Map.
Red rectangle depicts 703 Balzar Circle.

Only one property in the Mountain View Subdivision is designated as lying within the direct project APE: 703 Balzar Circle as described below (Table 3 and Figure 10).

Table 3. Mountain View Subdivision Project APE Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
703 Balzar Circle	013-182-22	Lot 1, Block A	1940/remodeled 1965	1 unit	Michael C. LaGrange



Figure 10. Aerial view of 703 Balzar Circle (Google Earth) 2015.

One of the earliest announcements of the proposed subdivision was published in the *Reno Evening Gazette* on May 27, 1941, when the newspaper reported that "permits were granted to Jean [Gene] Rovetti to connect approximately 30 houses south of the city limits to the sewer lines, and at the Mountain View Subdivision east of the city limits, near the Veteran's Hospital, was approved."¹⁸ The notice was published several years

¹⁸ *Reno Evening Gazette*, May 27, 1941.

before the official subdivision map was filed with the county. By 1942, lots were being sold in the subdivision as follows:

May 12, 1942 - Lots 26, 27, and 28, Block C to David B. Ratzlaff and wife; December 22, 1942 - Lots 24 and 25, Block C to H. Brandis & John Sinelio; March 1, 1943 - Lot 21, Block C, to F. Burkhalter and wife; and in on May 19, 1944, Lot 5, Block A, David B. Ratzlaff sold to Richard C. Warner.

Gene Rovetti is enumerated in the 1940 U.S. Federal Census as a manager (perhaps in construction), aged 48 years, living in a rented house on Henderson Street in Reno with his wife Dora Rovetti (49 years old), and children Marian (21 years old) and Melvin (14 years old).¹⁹

Construction of new homes in the Mountain View Subdivision were concentrated in the years after 1944, when sewer connections were put in place. As noted in the *Reno Evening Gazette* on January 18, 1944:

Seeking approval for the connections was C.H. Hancock, local contractor, who is building the thirteen houses through the cooperation of the federal housing administration in the Mountain View subdivision southeast of the city. Hancock was given permission by the council on October 11 to install drop-inlets connecting with city facilities, such inlets being for the purpose of surface drainage only.²⁰

In reference to the above project, Reno Mayor Henry E. Stewart recommended extending the city limits to encompass the Mountain View Subdivision in light of the city sewer connections. C.H. Hancock is listed in the Reno newspapers as early as 1930 as a "general contractor and carpenter specializing in brick veneer cottages."²¹ The 1940 United States Federal Census lists Charles H. Hancock, building contractor, 60 years of age, living with his wife Maggie, aged 57 years, and son Earl, aged 25 years, in their home at 1380 Humboldt Street in Reno. C.H. Hancock was born in Missouri in 1880.²²

Based upon newspaper reports, it appears that Charles Hancock and David B. Ratzlaff, along with his partner Howard H. Brandis, acquired and constructed the majority of homes in the Mountain View Subdivision. Ratzlaff and Brandis were also very active developers and builders in Reno who went under the name of "Western Builders," and whose homes could be found Country Club Heights and Terrace Tract. In 1941, Ratzlaff

¹⁹ United States Federal Census. Reno, Washoe County, Nevada. 1940.

²⁰ *Reno Evening Gazette*, January 18, 1944.

²¹ *Reno Evening Gazette*, April 9, 1930.

²² United States Federal Census. Reno, Washoe County, Nevada. 1940.

with his wife resided at 258 Wonder Street in Reno. In 1942, Ratzlaff and Brandis acquired Lots 26, 27, and 28 Block C, in the Mountain View Subdivision. On November 25, 1942 Ratzlaff and Brandis purchased Lots 3, 4, 5, 6, and 7 Block A and Lots 14, 15, 16, 17, 21, 22, 23, 24, 25, 26, 27, and 28 Block C in the Mountain View Subdivision.²³

Interestingly, the majority of the houses in the Mountain View Subdivision are stick-frame construction, rather than brick. This form of construction is consistent with guidelines established by FHA in regards to backing low interest loans for modest housing, as was the case in the subdivision in the mid-1940s. Most of the properties in the subdivision are single-family as opposed to the multi-family units in the Belli Addition, and reflect a style consistent with "cottage" designs, which contemporary architectural historians have labeled as "Minimalist Traditional architecture."

The following information was extracted from the *Reno Evening Gazette* newspaper for September 18, 1953 regarding ownership in the Mountain View Subdivision:

Patricia Davis	Lot 19, Block C	\$ 602.50
John Sinelio	Lot 20, Block C	\$ 684.96
Eldon D. and M.L. Nelson	Lot 11	\$ 421.80

Based upon assessed values, it is likely that Lot 19 and 20, Block C represented a slightly larger dwelling than Lot 11.

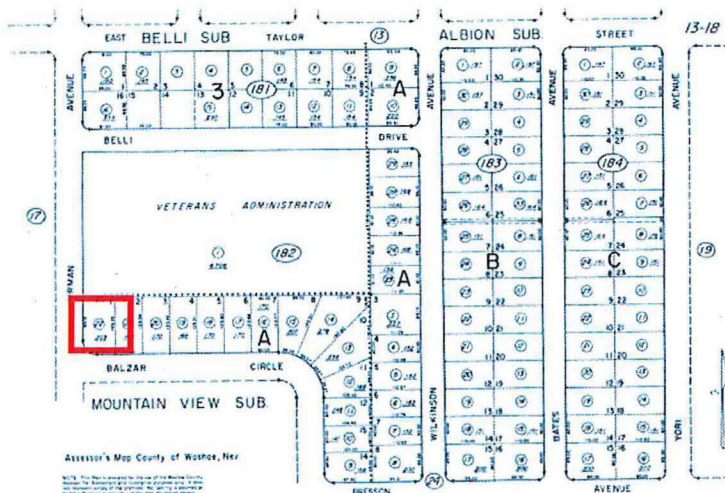


Figure 11. Mountain View Subdivision Map depicting the north half of Balzar Circle with the project parcel outlined in red.

²³ *Reno Evening Gazette*, November 25, 1942; November 7, 1944.



Figure 12. The remodeled residence in the project APE at 703 Balzar Circle, looking north.

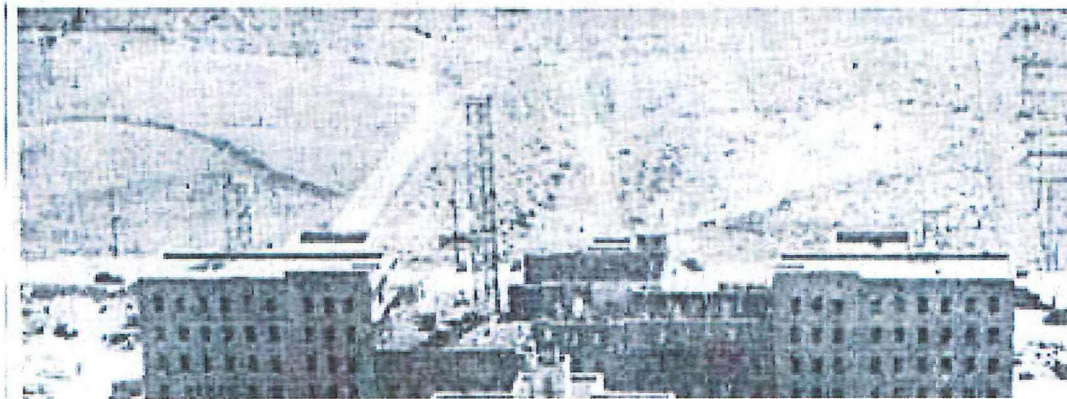


Figure 13. View of the Veteran's Hospital under construction during the May 1946 additions. Note the lack of any developed parcels due east of the hospital in what would become the Belli Addition and Mountain View Subdivision (Quimby 2015).



Figure 14. Mountain View Subdivision, looking east along Balzar Circle at the southern entrance to the subdivision.



Figure 15. Mountain View Subdivision, looking west from the east end towards Kirman Avenue in the far distance.

3.3 Belli Addition

The Belli Addition was platted on September 9, 1946 by Mario Belli, Erminia E. Belli, and Mary Belli, and lies immediately to the east of Burkes Addition on the east side of Kirman Avenue. Kirman Avenue was named after Richard Kirman, a banker and former Storey County assemblyman. Kirman was also mayor of Reno between 1907 and 1909.²⁴ Belli Drive located at the south end of the addition was named after the Belli family. The addition is bordered to the north by Roberts Street, west by Kirman Avenue, south by Belli Drive, and includes the eastern parcels along Helvetia Avenue. The most prolific era of building in the subdivision was during the 1950s.



Figure 16. Aerial View of the Belli Addition (Google Earth 2015).

²⁴ *Reno Evening Gazette*, October 7, 1957.

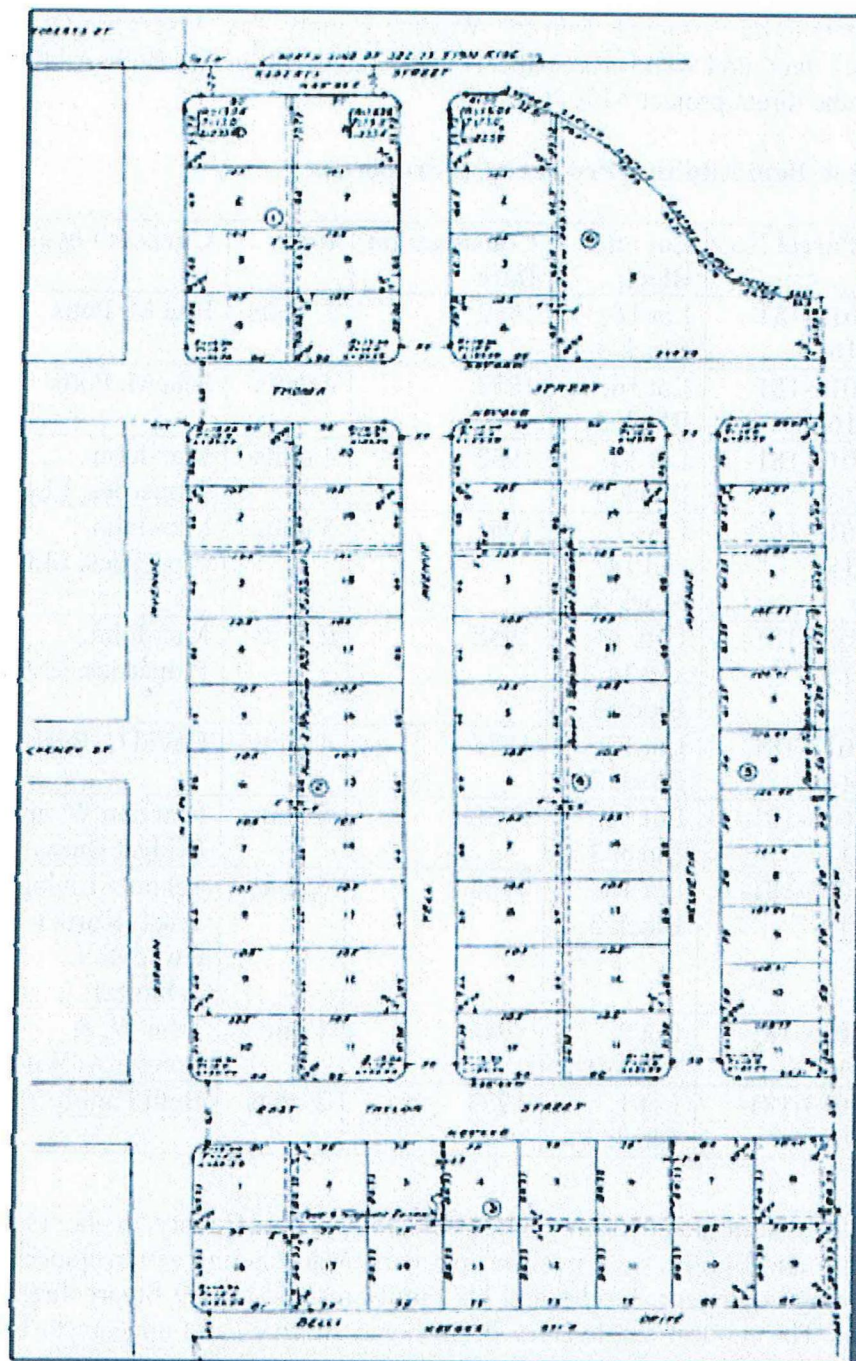


Figure 17. Belli Addition Subdivision Map, 1946.

The following parcels (data extracted from the Washoe County Tax Assessor's Office, U.S. Federal Census data, and Reno newspapers) are located within the Belli Addition and are included in the direct project APE (Table 4).

Table 4. Belli Addition Project APE Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
701/707/715 Belli Drive	013-181-16	Lot 16, Block 3	1952	3 units	Rita M. Potts
735 Belli Drive	013-181-16	Lot 16, Block 3	1952	4 units	Rita M. Potts
765 Belli Drive	013-181-15	Lot 14, Block 3	1952	4 units	Mar-John Properties, LLC
801 Belli Drive	013-181-15	Lots 13 and 14, Block 3	1954	3 units	Mar-John Properties, LLC
805/807 Belli Drive	013-181-15	Lots 13 and 14, Block 3	1958	2 units	Mar-John Properties, LLC
825/827829/831 Belli Drive	013-181-14	Lot 12, Block 3	1972	4 units	David C. Beck, Jr.
845 Belli Drive	013-181-13	Lot 11, Block 3	1958	6 units	Brandon W. and Bridget Burns
865 Belli Drive	013-181-12	Lot 10, Block 3	1958	6 units	Schmitz Living Trust (Kurt G. and Gwentyth L Schmitz)
885 Belli Drive	013-181-11	Lot 9, Block 3	1946	1 unit	John W. & Loretta A. Woods
700/710 E. Taylor Street	013-181-01	Lot 1, Block 3	1953	2 units	Belli Family Trust

Belli family members immigrated from Switzerland to Washoe County in the 1920s. Two brothers, Mario and Egidio, were business partners, Mario acting as developer and Egidio as the building contractor. Egidio and his family resided at 699 Stuart Street in Reno in the 1940s. The modest single-story brick home survives and appears to have changed little since it was owned by the family. Egidio's son Eugene carried on the building construction business with his father and reportedly lived at 680 Edelweiss Avenue in the subdivision during the early 1950s. Egidio died on November 27, 1987. Mary Belli, his wife, died much earlier, in November 1953, according to newspaper accounts. At her funeral at the Ross-Burke Co. Chapel were Egidio Belli, Joe Belli,

Ceasar Belli, Mario Belli, Steve Belli, and Lawrence Belli, all nephews of Mary Belli. She was interned in the Nevada Memorial Park Mausoleum.²⁵

Mario and Erminia Belli routinely show up as fee simple owners of property in Reno throughout the 1940s and 1950s. This is borne out in property listings found in the *Reno Evening Gazette* during this period. Belli Drive was named after the family. Like Egidio and his wife Mary, Mario and Erminia Belli were both born in Switzerland, Mario in 1902 and Erminia in 1907. When they immigrated to the United States in 1926 the couple eventually settled in Verdi on a ranch/farm west of Reno. Mario Belli was naturalized in Reno, Nevada on March 26, 1927, according to the *Reno Evening Gazette*. During the 1930s, Mario's brother John was reportedly living with him on his ranch in Verdi.²⁶ In the 1940 U.S. Federal Census Mario is listed as a farmer having \$2,000 in personal property. He was enumerated with his wife, Erminia and three children, Nevada (11 years old), Lawrence (8 years old), and Doris (4 years old). According to the Nevada State Death Index, Mario Belli died June 20, 1980, and Erminia Belli died on February 24, 1989.

One of the most important events in regards to the Belli Addition was the rezoning effort that occurred in 1950. The proposal that was brought before the City Council asked for rezoning both sides of Belli Drive from single family residence to multi family residence. The rezoning efforts occurred throughout other portions of Reno in response to an acute housing shortage in the city following World War II.²⁷ The slowdown in new residential construction, as previously alluded to, occurred in 1941 and continued through the war years. As a result of the rezoning in May 1951, the Giossi Brothers had nearly completed construction of their two-story brick veneer multi-unit building at 765 Belli Drive, for a cost of \$22,000. In the same year the Giossi brothers also built a triplex at 725-729 Lake Street for \$16,000.²⁸ According to Marcela Giossi, her father John D. Giossi, a native of Italy (born 1909) was a contractor, along with his brother Earnest A. Giossi. They were also responsible for building 801/805/807 Belli Drive. Both 765 Belli Drive and 801/805/807 Belli Drive are still owned by the Giossi family of Reno.²⁹ Other builders or carpenters, such as the Sterling builders, constructed multi-unit buildings in Reno in the early 1950s, as did the Belli family.

The prevailing design element employed in the Belli Addition, which consists mainly of eclectic Ranch houses, is brick veneer. For well over 200 years clay brick has been used in the construction of homes and businesses. Brick uses include structural and non-

²⁵ *Reno Evening Gazette*, November 16, 1953.

²⁶ United States Federal Census, Reno, Nevada. 1930.

²⁷ *Reno Evening Gazette*, April 5, 1950.

²⁸ *Reno Evening Gazette*, May 30, 1951.

²⁹ Marcela Giossi, Personal Communication, April 15, 2015.

structural, such as veneer or exterior wall cladding. While brick was not the first material of choice in the American West following the discovery of gold, by the 1860s it was in common use because it offered protection from fire, was being mass-produced in large quantities where adequate clays and fuel were available, and due to the large influx of immigrants who had experience in brick and stone masonry, particularly those from Italy.

Brick manufacturing in Reno dates to the late nineteenth or early twentieth century, the largest company being Reno Press Brick Company. According to the *Reno Evening Gazette*, January 7, 1960, the "250 millionth clay brick was produced by the Reno Company." The actual brick was placed on the University of Reno campus by Dr. Charles Armstrong, president of the university, and A. J. Caton, president of the Reno Press Brick Company, in the new Dr. J.E. Church building.³⁰ The company reportedly provided all the brick used in campus building within the university. Similarly, it is likely that the company provided all the brick used in the Burkes and Belli Additions. The company, which located to 1201 Fourth Street in the 1940s, aggressively advertised in local newspapers (Figure 18) extolling its "clay products for crack free construction."³¹



Figure 18. Advertisement for the Reno Press Brick Company, *Reno Evening Gazette*, July 31, 1953.

³⁰ *Reno Evening Gazette*, January 7, 1960.

³¹ *Ibid*, December 20, 1956.

Another difference between the Belli Addition, Burkes Addition, and Mountain View Subdivision, is the fact that the vast majority of buildings in Belli are either duplexes, triplexes, fourplexes, or apartments. While a handful are two-stories in height facing Belli Drive and built during the 1950s, most are single story, particularly those north of Belli Drive between Kirman Avenue on the west, Helvetia Avenue on the east, and Thomas Street on the north. Many of the single-story, multi-unit buildings reflect a trend towards Ranch style architecture, having relatively low horizontally oriented massing with both hipped and gable roofs. Duplexes along Edelweiss Street exhibit central "courtyard" designs, although the courtyards are paved in order to be used as driveways to access each unit. The rather small covered porches that face each other served as communal outdoor living areas lacking other definable zones within the confines of each of the rather small parcels.

The following information was extracted from the *Reno Evening Gazette* newspaper for September 18, 1953 and displays property ownership in the Belli Addition. As can be seen, Mario and Erminia Belli were the most prolific owners of parcels in the addition in 1953:

BELLI ADDITION

Mario and Erminia Belli	Lot 1, Block 1	\$ 478.31
Mario and Erminia Belli	Lot 2, Block 1	\$ 406.10
Mario and Erminia Belli	Lot 3, Block 1	\$ 406.10
Mario and Erminia Belli	Lot 4, Block 1	\$ 473.58
Mario and Erminia Belli	Lot 1, Block 2	\$ 420.87
Mario and Erminia Belli	Lot 2, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 3, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 4, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 5, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 6, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 7, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 8, Block 2	\$ 432.30
Mario and Erminia Belli	Lot 9, Block 2	\$ 432.30
Steve and Cora M. Juraserich	Lot 10, Block 2	\$ 449.73
Mario and Erminia Belli	Lot 11, Block 2	\$ 695.97
Mario and Erminia Belli	Lot 1, Block 3	\$ 638.89
Horace B. and Thelma B. Curl	Lot 2, Block 3	\$ 360.00
Rufin T. and Myrtle Olszowy	Lot 3, Block 3	\$ 360.00
Mario and Erminia Belli	Lot 4, Block 3	\$ 486.75
Mario and Erminia Belli	Lot 5, Block 3	\$ 486.75
Mario and Erminia Belli	Lot 6, Block 3	\$ 486.75

Carl E. and Ruth V. Dunn	Lot 7, Block 3	\$ 384.00
John O. and Evelyn A. Morman	Lot 8, Block 3	\$ 377.28
Mario and Erminia Belli	Lot 10, Block 4	\$ 695.88
Mario and Erminia Belli	Lot 11, Block 4	\$ 695.97

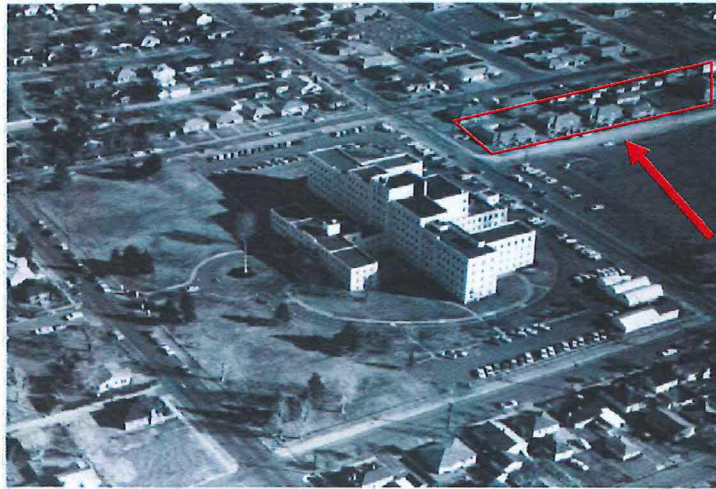


Figure 19. Aerial View of the Veteran's Hospital, including portions of Burkes Addition to the north and Belli Addition to the northeast, in the 1960s. The red arrow points to the parcels in the project APE along Belli Drive (Quimby 2015).



Figure 20. Two-story brick veneer multi-unit property at 735 Belli Drive.



Figure 21. Property at 700 Belli Drive in the project APE.
Example of a single-story, hipped roof brick veneer duplex.



Figure 22. Property at 760/762 and 780/782 Kirman Avenue in the visual APE.
Example of single-story brick veneer fourplex with a central driveway courtyard.



Figure 23. View west along Belli Drive (project APE) towards the Veteran's Hospital in the far distance. On the right are two-story apartment buildings with brick veneer.

The county tax assessment data from 1953 supports the fact that the Belli family held fee title to a large grouping of properties in the Belli Addition through the early 1950s before they began to sell the parcels or build on the parcels or for resale. The latter tax assessments also suggest that few of the parcels had been developed prior to the mid-1950s. Of the various properties in the Belli Addition being investigated for this study, only 701/707/715 Belli Drive, 735 Belli Drive, and 765 Belli Drive had been built prior to 1953. All three buildings share the same use of brick or brick veneer for exterior walls. Newspaper accounts suggest that some of the multi-unit buildings were owner-occupied, while others were constructed or acquired solely as rental units.

As previously noted, the dominant architectural style of the Belli Addition is an eclectic blend of Ranch and more traditional architecture. While some of the properties clearly represent a transition to Ranch style architecture, other properties reflect older building styles common to other Reno neighborhoods, particularly those with hipped roofs. Unlike Burkes Addition, Belli Addition properties appear to be designed more for functionally, in that they were built to maximize the investment and most served as either owner or non-owner occupied rentals.

4.0 SIGNIFICANCE STATEMENT

To guide the selection of properties included in the NRHP, the National Park Service has developed the NRHP Criteria for Evaluation. The quality of significance in American history, architecture, archaeology, and culture is possible in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, material, workmanship, feeling, and association, and meet one of the following criteria:

- ☐ Criterion A: Are associated with events that have made a significant contribution to the broad patterns of our history; or
- ☐ Criterion B: Are associated with the lives of persons significant in our past; or
- ☐ Criterion C: Embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components make lack individual distinction; or
- ☐ Criterion D: Has yielded, or may be likely to yield, information important in prehistory or history (36 CFR Part 60).

The National Register of Historic Places (NRHP) defines a significant resource as one that meets one or above of the Criteria and retains integrity. It is the purpose of this study to address the properties identified in the project in concert with the aforementioned guidelines imposed through the NRHP. The properties in the project APE were evaluated individually and collectively as part of historic district.

4.1 Burkes Addition Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
691/693 E. Taylor Street	013-124-14	Lot 14, Block 9	1953	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)
697/699 E. Taylor Street	013-124-13	Lot 12, Block 9	1954	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)
825/835 Kirman Avenue	013-124-12	Lots 12, 13, and 14, Block 9	1939	2 units	RECE Limited Partnership (Robert and Cheryl Eikelberger)

In applying the seven aspects of integrity to 691/693 E. Taylor Street, 697/699 E. Taylor Street, and 825/835 Kirman Avenue, all three properties retain their original location, setting, and association. Each property has somewhat diminished integrity of design, materials, workmanship, and feeling. The property at 825/835 Kirman Avenue, built in 1939, appears to have had nearly all its original windows replaced with aluminum windows and the original siding has either been replaced or covered by asbestos or concrete shingles, similar to the exterior wall cladding on 691/693 E. Taylor Street and 697/699 E. Taylor Street. All the original windows on 697/699 E. Taylor Street have been replaced with vinyl windows. The asbestos shingle wall cladding, however, likely dates to the time when the duplex was built.

In contrast, 691/693 E. Taylor Street, which is nearly identical to 697/699 E. Taylor Street, retains most of its original wood double or single-hung wood-sash windows, with the exception of a large rectangular fixed picture window added to the left of the entry door at a 691 E. Taylor Street. While 825/835 Kirman Avenue reflects pre-World War II cottage architecture in the subdivision, 691/693 E. Taylor Street and 697/699 E. Taylor Street reflect post-World War II architecture, albeit having much simpler yet older design elements shared by hipped or pyramidal houses dating to the late nineteenth century. What they share in common is that all three properties are very modest wood-frame duplexes, relatively inexpensive to build and geared towards providing affordable housing for low to middle-income wage earners in Reno.

In the study prepared by JoEllen Ross-Hauer and Jennifer Sigler (2014), the Wells Neighborhood was recommended for listing as a historic district. The proposed boundary encompassed the west side of Kirman Avenue, including 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street. The period of significance for Burkes Addition is 1904, when some of the first homes were built, through 1945 at the terminus of World War II, when some of the last homes were completed. Assuming that the Wells Neighborhood has the characteristics of a potential NRHP historic district, and Burkes Addition is a contributing part of the neighborhood, only 825/835 Kirman Avenue fits within the period of significance for the potential historic district, having been constructed in 1939. Because of diminished integrity, however, the property would not be a strong candidate for inclusion in the district as a "contributing element or resource." The properties at 691/693 E. Taylor Street and 697/699 E. Taylor Street, including their detached garages, were built outside the period of significance for the proposed Wells Neighborhood Historic District, and neither building rises to a level of importance that would suggest extending the period of significance for the district.

4.2 Mountain View Subdivision Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
703 Balzar Circle	013-182-22	Lot 1/Block A	1940/remodeled 1965	1 unit	Michael C. LaGrange

Built in 1940, 703 Balzar Circle is one of the first residences built in the Mountain View Subdivision and its design is representative of the modest Minimal Traditional or cottage style of architecture found on other properties in the subdivision. The period of significance for the Mountain View Subdivision is 1940-1955. In applying the seven aspects of integrity to 703 Balzar Circle, the property retains its original location, setting, and association. The property, however, has very diminished integrity of design, materials, workmanship, and feeling. Alterations include replacement most of the original sash windows with fixed picture windows and slider windows, conversion of the garage into a interior space with a large picture window facing Balzar Circle, replaced siding (possibly aluminum), and aluminum shutters over the two front windows. Most of this remodeling occurred in 1965, based upon Washoe County tax assessor records. In massing, the modest single-family residence still reflects its 1940 traditional minimalist or eclectic cottage design. The residence is consistent in that the majority of homes in the subdivision have also undergone minor to extensive remodeling and are also modest in size, unless they were expanded in later years.

As an individual property, 703 Balzar Circle does not appear to be eligible for the NRHP under Criteria C, largely due its compromised integrity of design, materials, workmanship, and feeling. After reviewing all the 56 parcels within the subdivision, there exists a lack of continuity due to extensive remodeling of nearly 80 percent of all the properties. The remodeling or alterations consist of additions, new siding, new windows, new doors, and new garages. Of the approximate 56 residences in the subdivision, only 12 properties appear to retain high levels of integrity for them to be considered potential contributors, which include 711, 713, 716, 718, 723, 725, 731, 750, 751, 755, and 758 Balzar Circle. Because of the disparity of contributing properties versus non-contributing properties, the potential for the Mountain View Subdivision to be considered for listing as a historic district is very remote.

4.3 Belli Addition Properties

Address	Parcel No.	Lot and Block	Construction Date	Units	Current Owner
701/707/715 Belli Drive	013-181-16	Lot 16, Block 3	1952	3 units	Rita M. Potts
735 Belli Drive	013-181-16	Lot 16, Block 3	1952	4 units	Rita M. Potts
765 Belli Drive	013-181-15	Lot 14, Block 3	1952	4 units	Mar-John Properties, LLC
801 Belli Drive	013-181-15	Lots 13 and 14, Block 3	1954	3 units	Mar-John Properties, LLC
805/807 Belli Drive	013-181-15	Lots 13 and 14, Block 3	1958	2 units	Mar-John Properties, LLC
825/827829/831 Belli Drive	013-181-14	Lot 12, Block 3	1972	4 units	David C. Beck, Jr.
845 Belli Drive	013-181-13	Lot 11, Block 3	1958	6 units	Brandon W. and Bridget Burns
865 Belli Drive	013-181-12	Lot 10, Block 3	1958	6 units	Schmitz Living Trust (Kurt G. and Gwentyth L. Schmitz)
885 Belli Drive	013-181-11	Lot 9, Block 3	1946	1 unit	John W. & Loretta A. Woods
700/710 E. Taylor Street	013-181-01	Lot 1, Block 3	1953	2 units	Belli Family Trust

Based upon Washoe County Tax Assessors data, houses built in the Belli Addition range from 1940 through 2004. There are approximately 77 developed parcels in the Belli Addition. The average date of construction is circa 1956. Of the 12 developed parcels on Belli Drive, most date from the mid to late 1950s, with the newest property built in 1972. Of the approximate 39 developed parcels on Edelweiss and Helvetia Avenue, most appears to retain the greatest degree of integrity with most of the properties built between 1948 and 1959. The most recent property was built in 2004. The thirteen or so properties that front Kirman Avenue were mainly built in the mid-1950s. The 9 properties facing Thoma Street range in age from 1940 to 1975. The Eugene Belli home is located at 809 Thoma Street. Most of the properties were built in the mid-1950s with later infill to the east dating into the 1970s.

Based upon the construction dates of the majority of homes in the Belli Addition, the period of significance for the subdivision is 1940-1965. As a whole the Belli Addition retains continuity of age and design throughout most of the subdivision, with the prevailing style of architecture being an eclectic Ranch style design with variations of brick or brick veneer for exterior walls and skirts. Most properties are multiple units, which is consistent with the change in zoning that occurred in the early 1950s from single to multi-family. Therefore, the importance of the Belli Addition is as an ensemble group of buildings representing mid-Twentieth Century residential and multi-family suburban architecture in Reno. Of the approximate 77 developed parcels in the subdivision, over 70 percent appear to be contributing properties, including 701/707/715 Belli Drive, 735 Belli Drive, 765 Belli Drive, 801 Belli Drive, 805/807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive.

In applying the seven aspects of integrity to 701/707/715 Belli Drive, the single-story brick veneer triplex retains integrity of location, design, setting, materials, workmanship, feeling, and association. The property appears to very well maintained with no apparent alterations to any of its principal exterior facades. Similarly, 735 Belli Drive, a two-story brick veneer 4-unit apartment or fourplex also retains integrity of location, design, setting, materials, workmanship, feeling, and association, as does the detached four-car garage. The properties at 805/807 Belli Drive, a single-story duplex, and 801 Belli Drive, a two-story triplex, both retain integrity of location, design, setting, materials, workmanship, feel, and association. The property at 765 Belli Drive nearly mirrors 735 Belli Drive, both buildings were constructed by the same contractor in 1951-1952 and both have brick or brick veneer with two-stories. 765 Belli Drive retains integrity of location, design, setting, materials, workmanship, feeling, and association, although the four-car garage having concrete asbestos shingle siding is only in fair condition and does not reflect the workmanship of the 4-unit building, having been built with brick or brick veneer.

The property at 825/827/829/831 Belli Drive is a wood frame, two-story fourplex, built in 1972. While it retains sufficient integrity, it was built outside the period of significance for the subdivision. The 6-unit apartments at 845 and 865 Belli Drive mirror one another, having two-stories, brick veneer, and both having been constructed by the same contractor in 1958. Both buildings retain integrity of location, design, setting, materials, workmanship, feeling, and association. The final building in the subdivision, 885 Belli Drive, is a single-family wood-frame Minimal Traditional/Ranch style residence built in 1946, shortly after the addition was created. The property appears to be well maintained and retains integrity of location, design, setting, materials, workmanship, feeling and association.

5.0 FINDINGS AND CONCLUSIONS

The following findings and conclusions include previous efforts by various consultants to document the evolution of Reno's residential and multi-family suburban development in the southeast portion of the city beginning in the early 1900s through the 1960s. While there was no single factor for their development and proliferation, there are specific themes or historic contexts that prevail through each of the respective subdivisions. One of the most consistent and relevant themes is the demand for modest affordable housing in Reno. Wells Neighborhood to a lesser degree represents this theme since its development dates to 1904, whereas Mountain View Subdivision and Belli Addition represent a period of rapid growth in Reno's "modern age" of development, namely after World War II.

It should also be pointed out that the three subdivisions discussed in this report are among dozens of other modest subdivisions that filled the vacant land in southeast Reno during the 1940s through the 1960s. Together these subdivisions formed intra-city communities that could be individually identified largely by the type of architecture expressed in their development and design. Burkes Addition evokes a pre-World War II ethos of architectural design, while Mountain View Subdivision displays what has been termed "Minimal Traditional" style or what perhaps is better termed as eclectic cottage architecture, and Belli Addition conveys a strong sense of "Ranch" style architecture, albeit with the application of brick or brick veneer to the exterior of most of its buildings and structures.

In order to carefully document the properties in the direct and visual APE, a pedestrian and windshield field survey, along with archival and oral research, was carried out for all three subdivisions, making notes of potential contributing and non-contributing properties. No evidence was found either in the written record or physical inspection of

properties in the three subdivisions to suggest that one particular property was individually eligible for the NRHP. The significance or potential significance of each subdivision is the interrelationship between properties, existence of architectural continuity over time, and degree of integrity. Although one can formulate an argument that each subdivision played an important role in the history of suburban development in Reno under NRHP Criterion A, this argument can apply to most, if not all, of Reno's subdivisions or additions built from the early 1900s through the 1950s. In essence, the architecture (NRHP Criterion C) prevails as the most distinguishable element in each of the aforementioned subdivisions, and the degree of continuity of each subdivision as it evolved from its first building to the present. Similarly, there is no evidence that any of the parcels in the direct project APE have the potential under NRHP Criterion D to provide significant archaeological data associated with any of respective historic contexts.

5.1 Burkes Addition (Wells Neighborhood)

As previously cited, the Wells Neighborhood, which includes Burkes Addition, has been determined potentially eligible for the NRHP with its period of significance beginning in 1904 and terminating in 1945. These bracketed years seem reasonable given that the majority of buildings in the Wells Neighborhood, including Burkes Addition, were built prior to the end of World War II. Later infill properties date to after World War II and a number of them, including two in the direct project APE, were built as duplexes rather than single-family properties. In addition, Wells Neighborhood properties reflect a much more eclectic or diverse blend of architectural styles than the other two subdivisions, including Queen Anne row house, vernacular or Folk Victorian, English and other forms of eclectic cottages. The similarities relate more to the period when they were built (pre-1940), the modest nature of the single-family homes having from 2 to 3 bedrooms, and the fact they were priced affordably for middle-income working class families. The later post-World War II infill provided even more affordable housing geared towards veterans and lower middle-income individuals and families, some working in the booming gaming industry in Reno and others at the Veterans Hospital nearby. In summary, Wells Neighborhood, including Burkes Addition, appears to retain adequate integrity to convey its significance, although the three properties in the direct APE (691/693 E. Taylor; 697/699 E. Taylor; and 825/835 Kirman Avenue) do not appear to be contributing properties to the potential NRHP historic district, because either they were built beyond the period of significance (1904-1945) and/or lack integrity.

Therefore, it is determined that the Wells Neighborhood, inclusive of 825/835 Kirman Avenue, 691/693 E. Taylor Street, and 697/699 E. Taylor Street, being located in Burkes Addition, has potential as a NRHP historic district, defined by Vassar Street to north of

Stewart Street and bounded by Kirman Avenue to the east. This recommendation is based upon the documentation provided by Ross-Hauer and Sigler in 2014 in their study of the Wells Neighborhood (Figure 25). A windshield survey of the Burkes Addition bears out the recommendation by Ross-Hauer and Sigler in that the Addition has a good representative mix of housing styles that reflect the potential historic district period of significance.



Figure 24. Burkes Addition properties in the direct APE outlined in red.

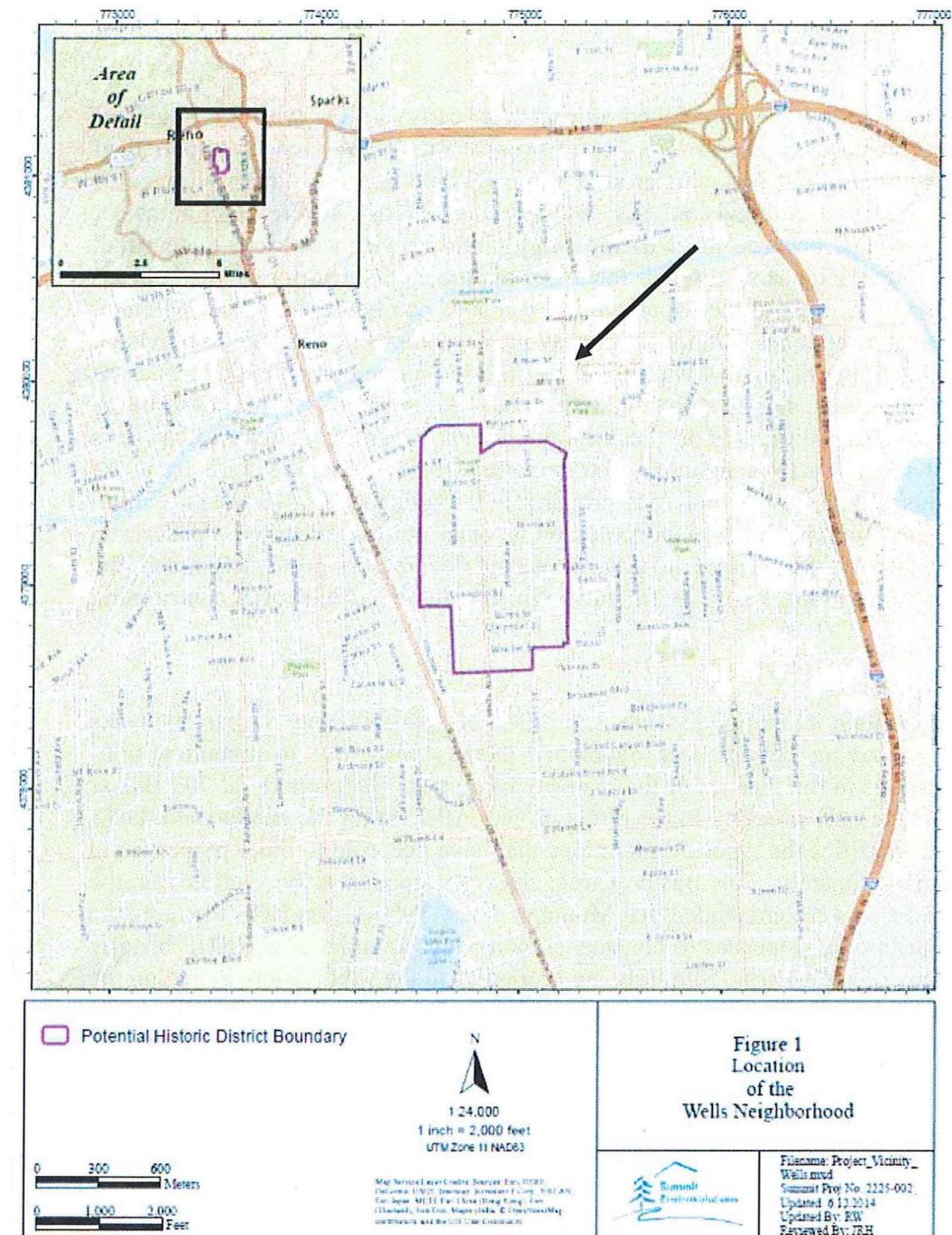


Figure 25. Proposed Wells Neighborhood Potential Historic District Boundary (Ross-Hauer and Sigler 2014).

5.2 Mountain View Subdivision

Mountain View Subdivision developed during the early 1940s with the bulk of construction occurring after World War II, but prior to the 1950s. Hence, its period of significance begins in 1940 and ends around 1955. Despite this fairly narrow range of years, Mountain View Subdivision has witnessed the most severe alterations or modifications, perhaps because most of the single-family residences were quite small wood-frame cottages and geared towards the lower middle income working class families of Reno. Stylistically, most of the Mountain View homes can be described as "Minimal Traditional" eclectic cottages. Although the layout or composition of the subdivision remains unchanged, the properties within it have suffered numerous alterations, such as replaced windows, doors, siding, small additions, and the conversion of garages to living areas. Like the Wells Neighborhood, besides alterations to various residences, there is also infill and reconstruction, adopting contemporary forms of architecture from the 1970s and 1980s. While there is only one property in the direct APE (703 Balzar Circle) located inside the Mountain View Subdivision on its outer northwest corner, a pedestrian and windshield survey of the entire subdivision was performed. As previously noted, the number of non-contributing resources far outweighs the number of potential contributing properties.

In summary, Mountain View Subdivision, comprised of approximately 57 parcels, lacks integrity, despite having largely been developed in the 1940s, due to numerous non-historical alterations to the facades of the majority of homes. The property at 703 Balzar Circle, which is the only property in the direct project APE within the subdivision, lacks integrity and exemplifies the types of alterations that have occurred to other properties in the subdivision. Ultimately, 703 Balzar Circle does not appear to be eligible for the NRHP. Therefore, it is recommended that Mountain View Subdivision lacks the requisite number of contributing properties to consider it as having potential as a NRHP historic district under any of the criteria. Similarly, no properties in the subdivision, including the property in the project direct APE, appear to be individually eligible for the NRHP.



Figure 26. Mountain View Subdivision Boundaries (Google Earth 2015).

5.3 Belli Addition

Construction in the Belli Addition dates to 1940, despite the fact that the subdivision map was filed four years later. On the other hand development in the subdivision ground to a halt during World War II, and proceeded very slowly until the late 1950s. What makes the Belli Addition unique is the vast majority of properties are either duplexes, triplexes, fourplexes, or apartments, most having brick or brick veneer exterior walls in various versions of an eclectic Ranch style architecture. The subdivision also includes a handful of two-story multi-family properties facing Belli Drive that likely were built in concert with the expansion of the Veteran's Hospital and stronger demand for housing in Reno during the late 1950s. Like Burkes Addition and the Mountain View Subdivision, Belli Addition is important for its collective array of properties versus any one particular property. A visual inspection of all the parcels in the subdivision suggests that over 70 percent retain very good to excellent integrity. Besides the north side of Belli Drive, of particular importance are the multi-family "center or inner court" fourplexes that flank Edelweiss and Helvetia Streets.

Besides the Wells Neighborhood, the Belli Addition retains the most homogenous grouping of architecture, evidenced by brick Ranch style buildings. Most of the properties in the Belli Addition appear to have been geared towards working class individuals and families. While no evidence was found to suggest that any of the subdivisions have the potential to be significant for their association with a person or persons of significance in Reno or Washoe County, even though Charles H. Burke and Mario and Egidio Belli played influence roles in the history of the City in regards to residential developments, it was only Eugene Belli who actually lived for a time in the subdivision where he was responsible for the construction of a number of buildings. The other Belli family members, including the original developer Mario Belli and his wife, resided in Verdi on their ranch.

Like the Mountain View Subdivision, a pedestrian and windshield survey was carried out in the entirety of the Belli Addition. The results of that survey suggests that as a whole the subdivision retains very good integrity, particularly the continuity of architectural design, and represents an important period in the history of the City's suburban growth and development of multi-family housing. Like the Wells Neighborhood and Mountain View Subdivision, the creation of Belli Addition was somewhat speculative and construction was minimal during World War II. Unlike, Wells Neighborhood and Mountain View Subdivision, however, most of the properties in the Belli Addition were rental units, perhaps geared towards the divorce and gaming industries, as well as those employees of the Veterans Hospital nearby.

5.4 Summary

In regards to the parcels identified in the direct project APE, with the exception of 825/827/829/831 Belli Drive, which was built in 1972, beyond the proposed period of significance (1965), the remaining properties in the direct project APE retain very good to excellent integrity, including 700/710 E. Taylor Street, 701/707/715 Belli Drive, 735 Belli Drive, 765 Belli Drive (excluding the garage), 801 Belli Drive, 805/807 Belli Drive, 845 Belli Drive, 865 Belli Drive, and 885 Belli Drive. Therefore, these properties represent contributing properties to a potential NRHP historic district that includes the north side of Belli Drive between Kirman Avenue and Wilkinson Avenue, the east side of Kirman Avenue between Roberts Street on the north and Belli Drive on the south, the west side of Wilkinson Avenue between Belli Drive and Roberts Street, the portion of E. Taylor Street between Kirman Avenue and Wilkinson Avenue, and the entirety of Edelweiss Street, and Helvetia Street (Figure 27).

In summary, it is recommended that Belli Addition be considered a potential NRHP historic district under Criterion C as an important example of masonry mid-Twentieth Century Ranch style architecture from 1940 through 1965. No properties in the subdivision, including the properties in the direct project APE, appear to be individually eligible for the NRHP.

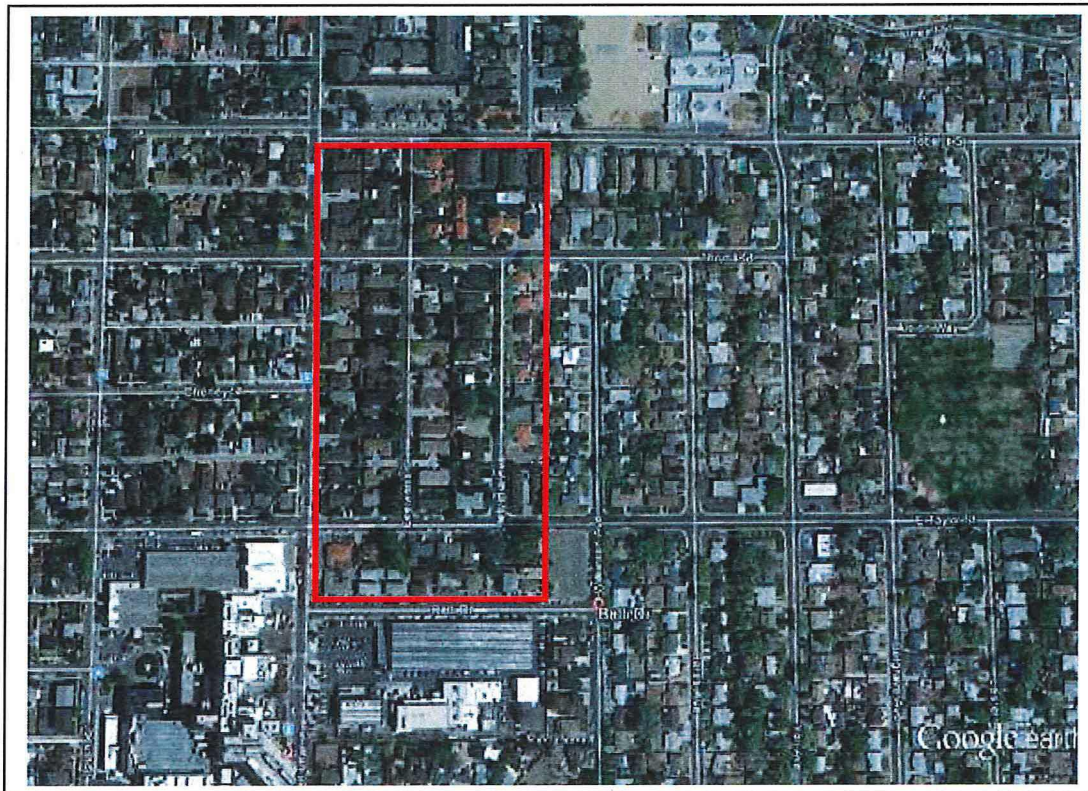


Figure 27. Proposed Belli Addition Historic District Boundaries.

Table 5. Summary of Findings for Project APE Properties

Address	Parcel Number	Subdivision	Construction Date	NRHP Criteria A	NRHP Criteria B	NRHP Criteria C	NRHP Criteria D	Contributing Property as part of Historic District
691/693 E. Taylor Street (includes garage)	013-124-14	Burkes Addition	1953	No	No	No	No	No
697/699 E. Taylor Street	013-124-13	Burkes Addition	1954	No	No	No	No	No
700/710 E. Taylor Street	013-181-01	Belli Addition	1953	No	No	No	No	No
825/835 Kirman Avenue (includes garage)	013-124-12	Burkes Addition	1939	No	No	No	No	No
703 Balzar Circle	013-182-22	Mountain View Subdivision	1940	No	No	Yes	No	No
701/707/715 Belli Drive	013-181-16	Belli Addition	1952	No	No	Yes	No	Yes
735 Belli Drive (includes garage)	013-181-16	Belli Addition	1952	No	No	Yes	No	Yes
765 Belli Drive (includes garage)	013-181-15	Belli Addition	1952	No	No	Yes	No	Yes
801 Belli Drive	013-181-15	Belli Addition	1954	No	No	Yes	No	Yes
805/807 Belli Drive	013-181-15	Belli Addition	1958	No	No	Yes	No	Yes
825/827/829/831 Belli Drive	013-181-14	Belli Addition	1972	No	No	No	No	No
845 Belli Drive	013-181-13	Belli Addition	1958	No	No	Yes	No	Yes
865 Belli Drive	013-181-12	Belli Addition	1958	No	No	Yes	No	Yes
885 Belli Drive	013-181-11	Belli Addition	1946	No	No	Yes	No	Yes

6.0 PROFESSIONAL QUALIFICATIONS

Dana E. Supernowicz, principal of Historic Resource Associates, earned his M.A. degree in History at California State University, Sacramento in 1983, with an emphasis in California and Western United States history. He is a Registered Professional Archaeologist (RPA) and meets the Secretary of Interior Professional Standards in Architectural History, Archaeology, and History. Supernowicz has over 38 years of experience working in the field of cultural resources management for federal and state agencies, as well as 35 years in private consulting. He has also served as president of the El Dorado County Historical Society, and is a member of the Society for California Archaeology, Society of Historical Archaeology, Oregon-California Trails Association, and the National Trust for Historic Preservation.

E. Steve McNiel received his BLA degree in 1974, and his MLA degree from the University of Oregon in 1976. His areas of research and expertise include Landscape Architectural Design and Urban Planning, Cultural Resource Management, Historic Preservation, Architectural History, Visual Assessment, Recreation and Tourism. He is also proficient in Geographic Information Systems, 3-D Animation, Simulations, Video, Multimedia Design and Production. Between 1985 and 2012, McNiel served as U.C. Davis Landscape Architecture Department Chair and as a Senior Lecturer.

Barbara Irvine graduated Summa Cum Laude with a B.A. in Social Science from California State University, Sacramento in 1994. She has conducted archival and genealogical research, as well as technical writing and editorial review for cultural resource management firms over the past 20 years.

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**VA SIERRA NEVADA HEALTH CARE SYSTEM (VASNHCS) EXPANSION PROJECT
PROJECT LOCATION MAP**

